

**Collin County
Honorable Stacey Kemp
Collin County Clerk**

Instrument Number: 2022000171468

eRecording - Real Property

HOMEOWNERS ASSOC DOCS

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**STATE OF TEXAS
COUNTY OF COLLIN**

I hereby certify that this Instrument was FILED In the File Number sequence on the date/time printed hereon, and was duly RECORDED in the Official Public Records of Collin County, Texas.

Honorable Stacey Kemp
Collin County Clerk
Collin County, TX

NOW, THEREFORE, the dedicatory instrument attached hereto as Exhibit "A" is a true and correct copy of the original and is hereby filed of record in the Real Property Records of Collin County, Texas, in accordance with the requirements of Section 202.006 of the Texas Property Code.

IN WITNESS WHEREOF, the Association has caused this Third Supplement to be executed by its duly authorized agent as of the date first above written.

VILLAGES OF STAR TRAIL
HOMEOWNERS ASSOCIATION, INC.,
a Texas nonprofit corporation

By: George Mitchell
Name: George Mitchell
Title: President

ACKNOWLEDGMENT

STATE OF TEXAS §
 §
 §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared George Mitchell the President of the Villages of Star Trail Homeowners Association, Inc., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed on behalf of said nonprofit corporation.

SUBSCRIBED AND SWORN TO BEFORE ME on this 20th day of October 2022.

[Signature]
Notary Public, State of Texas
2-10-26
My Commission Expires

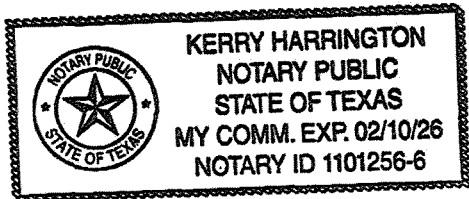


Exhibit "A"

Amended Design Guidelines

VILLAGES OF STAR TRAIL AMENDED DESIGN GUIDELINES

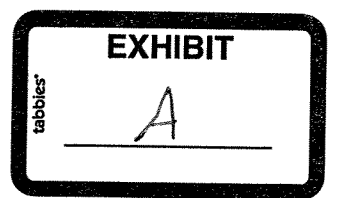


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VILLAGES OF STAR TRAIL AMENDED DESIGN GUIDELINES

July 2022

VILLAGES OF STAR TRAIL HOMEOWNERS ASSOCIATION, INC.

INTRODUCTION

The initial Design Guidelines of the Villages of Star Trail Homeowners Association, Inc. (the "Association") were recorded as Exhibit E to the Declaration of Covenants, Conditions and Restrictions for Villages of Star Trail (the "Declaration"). Article X, Section 10.3(a) of the Declaration provides that the Board has the authority to amend the Design Guidelines. Pursuant to this authority, the Board desires to replace the initial Design Guidelines with these Amended Design Guidelines.

It is the desire of the Board of Directors of the Villages of Star Trail Homeowners Association, Inc. to assist and guide homeowners in modifying and improving their property in a manner consistent with the Declaration and these Amended Design Guidelines in a fair and collaborative manner. These Amended Design Guidelines are an informative tool that property owners use to help enhance their property while ensuring a continuity of design is maintained throughout the community. From the beginning, all Star Trail homebuilders were held accountable to certain design standards which were applied to all new construction. However, once the builder's ownership changed hands, this accountability is transferred to the homeowner. As Star Trail continues to mature and properties continue to change ownership, it is important that this same "thread" of continuity is maintained and evident throughout all modifications and improvements.

Some design standards are mandated, though all homeowners should know, the Modifications Committee reviews each submission and reserves the right to make discretionary judgments concerning each submission. Discretionary approvals made by the Modifications Committee shall not represent or constitute a binding precedent since no two or more properties are likely to be alike.

ARTICLE I

ESTABLISHMENT AND JURISDICTION

Per Article X of the Star Trail Conditions, Covenants and Restrictions, the architectural modification review process shall be handled by the Modifications Committee:

Architectural Review

Responsibility for administration of these Amended Design Guidelines and review of all applications for construction and modifications under this Article shall be handled by the Modifications Committee (collectively, the "Committee"). The Board of Directors may establish reasonable fees to be charged by the Committee on behalf of the Association for review of applications hereunder and may require such fees to be paid in full prior to review of any application

New Construction Committee - The New Construction Committee ("NCC") shall consist of at least three (3) and no more than five (5) persons and shall have exclusive jurisdiction over all original construction on any portion of the Property. The NCC shall also have exclusive jurisdiction over all modifications, additions, or alterations to existing improvements until and unless the Board establishes the Modifications Committee. During the Development Period, the Declarant retains the right to appoint and remove in its sole discretion all members of the NCC who may be representatives of the Declarant. There shall be no surrender of this right prior to that time except in a written instrument in recordable form executed by Declarant and recorded in the Collin County Deed Records. Upon the expiration of such right, the Board shall appoint the members of the NCC, who shall serve and may be removed at the sole discretion of the Board.

Modifications Committee – The Board of Directors may establish a Modifications Committee (MC) to consist of at least three and no more than five persons, all of whom shall be appointed by, and shall serve at the discretion of, the Board of Directors. Members of the MC may include architects or similar professionals who are not Members of the Association, but cannot be a current board member, a current board member's spouse, or a person residing in a current board member's household. The MC, if established, shall have exclusive jurisdiction over modifications, additions or alterations made to existing structures on Lots or structures containing Lots and the open space, if any, appurtenant thereto.

Procedure for Approval.

- (a) Each of the following documents must be submitted to the Association's New Construction Committee or the Modifications Committee, which ever applies, and such party's approval must be obtained, prior to the document's submission to the City or implementation:
- (i) A completed application;
 - (ii) final survey;
 - (iii) detailed description of the modification;
 - (iv) showing the nature, kind, shape, height, materials and location of all landscaping and improvements on each Lot, and specifying any requested variance from the setback lines, location or other requirements set forth in this Declaration, and, if requested by the New Construction Committee ("NCC") or the Modifications Committee ("MC"), samples of proposed construction materials and/or color swatches.

ARTICLE II

ARCHITECTURAL STANDARDS AND MODIFICATION GUIDELINES

General. No structure shall be placed, erected, or installed upon any Lot and no improvements (including staking, clearing, excavation, drainage, grading and other site work, exterior alteration or modification of existing improvements, change in exterior paint colors, and planting or removal of landscaping materials) (collectively, the “Work”) shall take place except in compliance with Article X of the Declaration and these Amended Design Guidelines. Notwithstanding the above, an Owner may repaint the exterior of a structure in accordance with originally approved color scheme without first seeking approval. In addition, no prior approval shall be required to remodel, repaint or redecorate the interior of structures on a Lot. However, modifications to the interior of screen porches, patios and similar portions of a Lot visible from outside the Lot shall be subject to prior approval in accordance with this Article. The Amended Design Guidelines may provide for further exceptions to the prior approval requirement of Section 10.3 of the Declaration.

This Article II shall not apply to the construction activities of the Declarant nor to improvements to the Common Area by or on behalf of the Association.

This Article II may not be amended during the Development Period without the Declarant's written consent.

Per Article X of the Declaration, the Guidelines and Procedures are as follows:

Guidelines and Procedures

Plans and specifications showing the nature, kind, shape, color, size, materials and location of all proposed construction and modifications, shall be submitted to the appropriate committee for review and approval (or disapproval). In reviewing each submission, the NCC or MC may consider (but shall not be limited to consideration of) visual and environmental impact, ecological compatibility, natural platforms and finished grade elevations, the quality of workmanship and design, harmony of external design with surrounding structures and environment, location relation to surrounding structures and plant life, architectural merit and compliance with the general intent of these Amended Design Guidelines, the general scheme of development for the Property, and any other aspect of construction, landscaping and property use that may affect the general value and appearance of the Property.

The NCC or MC shall, shall, within ten (10) days after receipt of each required submission of Plans, advise the party submitting the same, in writing, at an address specified by such party at

the time of submission, if the submission is incomplete. The NCC or MC, as applicable, shall, within thirty (30) days after receipt of each required and complete submission of Plans, advise the party submitting the same, in writing, at an address specified by such party at the time of submission of (i) the approval of Plans or (ii) the disapproval of Plans, specifying the segments or features of the Plans which are objectionable and suggestions, if any, for the curing of such objections. In the event the NCC or MC fails to advise the submitting party by written notice within the time set forth above of either the approval or disapproval of the Plans, the approval shall be deemed denied. However, no approval, whether expressly granted or deemed granted pursuant to the foregoing, shall be inconsistent with the Declaration or these Amended Design Guidelines unless a variance has been granted in writing by the NCC or MC pursuant to Section 10.5 of the Declaration.

The Owner shall have the right to appeal the NCC or MC's decision to the Board. To perfect the right to appeal the NCC or MC's decision, a written notice of appeal must be received by the Board within thirty (30) days after the date of the written notice to the Owner of the results of the hearing. The Board shall hold a hearing not later than the 30th day after the date the Board receives the Owner's request for a hearing and shall notify the Owner of the date, time, and place of the hearing not later than the 10th day before the date of the hearing. Only one hearing is required. During a hearing, the Board and the Owner will each be provided the opportunity to discuss, verify facts, and resolve the denial of the Owner's application or request for the construction of improvements, and the changes, if any, requested by the NCC or MC. The Board or the Owner may request a postponement. If requested, a postponement shall be granted for a period of not more than 10 days. Additional postponements may be granted by agreement of the parties. The Association or the Owner may make an audio recording of the meeting. The Board may affirm, modify, or reverse, in whole or in part, any decision of the NCC or MC as consistent with the Declaration.

No Waiver of Future Approvals. The approval of the NCC or MC of any proposals or plans and specifications or drawings for any work done or proposed, or in connection with any other matter requiring the approval and consent of such committee, shall not be deemed to constitute a waiver of any right to withhold approval or consent as to any similar proposals, plans and specifications, drawings or matters subsequently or additionally submitted for approval or consent.

Variance. The NCC or MC may authorize variances from compliance with any of the guidelines and procedures when circumstances such as topography, natural obstructions, hardship or aesthetic or environmental considerations require. Such variances may only be granted, however, when unique circumstances dictate, and no variance shall (i) be effective unless in writing; or (ii) prevent the NCC or MC from denying a variance in other circumstances. For purposes of this section, the inability to obtain approval of any governmental agency, the issuance of any permit, or the terms of any financing shall not be considered a hardship requiring a variance.

Limitation of Liability. Review and approval of any application pursuant to this Article are made on the basis of aesthetic considerations only and neither the NCC nor the MC shall bear

any responsibility for ensuring the structural integrity or soundness of approved construction or modifications, nor for ensuring compliance with building codes and other governmental requirements. Each Owner or Builder is encouraged to obtain his own soil tests, foundation reports, engineering studies or other similar test reports or studies which he deems necessary or advisable with respect to his Lot. Neither the Declarant, the Association, the Board of Directors, any committee, or member of any of the foregoing, shall be held liable for any injury, damages or loss arising out of the manner or quality of approved construction on or modifications to any Lot.

Enforcement. Any construction, alteration or other work done in violation of this Article shall be deemed to be nonconforming. Upon written request from the Board or the Declarant, Owners shall, at their own cost and expense, remove such construction, alteration or other work or bring it into compliance. Should an Owner fail to remove or correct as required hereunder, the Board or its designees shall have the right to enter upon the Lot and remove or cure the violation. All costs, together with the interest at the maximum rate then allowed by law, may be assessed against the nonconforming Lot and collected as a Special Individual Assessment pursuant to Section 9.4 of the Declaration.

Any contractor, subcontractor, agent, employee, or other invitee of an Owner who fails to comply with the terms and provisions of this Article and these Amended Design Guidelines may be excluded by the Board from the Property, subject to the notice and hearing procedures contained in the Bylaws. In such event, the Association, its officers, or directors shall not be held liable to any person for exercising the rights granted by this paragraph.

In addition to the foregoing, the Board of Directors and/or Declarant shall have the authority and standing on behalf of the Association, to pursue all legal and equitable remedies available to enforce the provisions of this Article and the decisions of the NCC and MC.

The establishment and jurisdiction of the Modifications Committee (MC) is outlined in the Declaration under Article X, Section 10.2(b), "Modifications Committee."

ARTICLE III

APPLICATION PROCEDURES

It is the responsibility of the Owner and contractor employed by the Owner to determine if a proposed modification is structurally and mechanically sound and designed and constructed in compliance with applicable building codes, fire codes, other laws or regulations and sound construction practices. The Association, nor its duly appointed committees or members and employees, shall be liable for damages or otherwise because of the approval or non-approval of any modification.

Modifications are not to commence until the submission has been reviewed and approved by the MC. Owners who proceed with modifications (including but not limited to the types mentioned in this document) without obtaining prior approval do so with the full knowledge that the modification is not in compliance. Said Owners are subject to the remediation specified in the governing documents up to and including fines, liens and removal of the modification at the Owner's expense.

MC approval is required prior to obtaining any required permits from the Town of Prosper. Obtaining a permit from the Town of Prosper does not constitute a basis for approval by the MC.

In the event there appears to be a conflict in the interpretation of these Amended Design Guidelines and the Declaration, the Declaration will control.

The "steps" listed below describe the sequence of events necessary to complete the review process:

Review the applicable section of these guidelines for information pertaining to the specific modification request.

- (i) Obtain modification application forms (available on-line or from the Association office) and submit all required documentation online.
- (ii) The modification application form shall include required supportive material (i.e., drawings pictures, plats, etc.). To facilitate the MC's review process, the Owner is encouraged to include additional supportive material as necessary. ***PLEASE*** make certain the application is complete and all supportive information is included. ***An incomplete submittal will not be reviewed by the Committee.***
- (iii) The location of the device or structure drawn in on a survey plat.
- (iv) The results of the NCC or MC's decision will be communicated to the Owner within 30 days following submission of the application. The NCC/MC will make a reasonable effort to expedite the review process.

NOTE: THE ITEMS LISTED BELOW ARE HIGHLIGHTS, GUIDELINES AND INTERPRETATIONS OF THE DEED RESTRICTIONS, INITIAL USE RESTRICTIONS AND GENERAL BOARD POLICIES. OWNERS ARE URGED TO REFER TO THESE DOCUMENTS FOR SPECIFIC INFORMATION. THE BOARD MAY REVISE OR AMEND THESE AMENDED DESIGN GUIDELINES FROM TIME TO TIME.

ARTICLE IV

MODIFICATION TYPES

Section 4.1 – Artificial Plants & Turf

The use of artificial plant material is not permitted within the Property. The only exception to this policy is for wreath/door decorations in residential neighborhoods.

Front and side yards visible from the street outside of fencing shall be solid sod if not in planting bed. Sod is defined as live vegetation consisting of typically short plants with long, narrow leaves and a root system.

Artificial turf may be permitted for residential use behind back yard fencing. If a Lot has wrought iron fencing, artificial turf may still be permitted if properly screened from view pursuant to the screening policy outlined below. The addition of turf is an exterior modification and will require the submittal of a residential modification application *that includes a sample description of the artificial turf* intended to be used and a material/installation plan that complies with the criteria outlined below. The MC will review when the application is complete. No alteration to the exterior elements of the Lot may take place until the MC approves the application.

Criteria:

- No person may interfere with the established drainage pattern or grading pattern over any portion of a property unless adequate alternate provision for property drainage has been obtained by licensed engineer and proper city permits obtained.
- Must provide a drainage plan.
- The backing of the artificial turf should be coated with polyurethane material. The artificial grass itself should be made from a polyurethane material as it has the most realistic appearance, be a shade of natural green and be fade resistant/UV protected and weather resistant. Artificial turf must be professionally installed, and the installation shall include a bender border, acrylic antimicrobial infill sand and nailed down. All products used must be 2-way soluble meaning water can move both directions through the turf.
- A row of deciduous shrubs will be required along wrought iron fencing for screening purposes.
- No art designs made of artificial turf.

Maintenance:

Artificial turf must be properly maintained and replaced when it becomes worn.

Section 4.2 - Antennas, Satellite Dishes, and Exterior Weather Devices

Generally, any external antenna, receiver, or satellite dish, other than those specifically required for television and/or internet reception, are prohibited in the Property.

(i) Lightning Rods:

- Requests for lightning rods must be submitted and will be reviewed and approved on a case-by-case basis. They must compliment the house and roof line and may not be taller than 24”.
- Care should be taken in reviewing the location of any weather device that may be viewed by neighboring properties or a Common Area.

(ii) Satellite Dishes:

Typical satellite dishes for TV reception will comply if the following conditions are met:

- Every effort must be made to install receiving devices in the least conspicuous location on the Lot at which an acceptable quality signal can be received and is not visible from a public street bordering the Lot or is screened from view.
- Dishes should not be placed in prominent visual locations, such as on top of the chimney, fence, balcony railing or roof ridge.
- Satellite dishes shall be installed on the roof, near a chimney, on the rear 50% of the residence.
- No dish on the residence shall be larger than one (1) meter in diameter.
- Dishes may not encroach upon any public or Common Area or any adjacent property.
- The color of the satellite dish should be compatible with the color of the residence on the Lot.

Section 4.3 – Awnings, Screens, Screen Doors and Storm Doors

(i) Awnings:

- Awnings are not permitted in the Property.

(ii) Screens:

- Generally, any screens, other than those approved and installed by the homebuilders at the time of original construction, must be submitted for review and approval by the MC.
- All operable windows on the front elevation must be screened and free of tears.
- Screens intended for windows shall be integral with the window, earth toned in color and complementary of the house. Bright silver/aluminum screens are not appropriate.
- There are a limited number of approved colors which can be obtained from the Association's property manager. All screens on a Lot must be of the same color.

Note: approval is not required to replace/repair damaged screens with a material that matches the color of the original installation.

(iii) Screen Doors:

- To preserve community continuity, only retractable (i.e., "invisible") type screen doors shall be permitted on the front elevation.

(iv) Storm Doors:

- Storm doors must be full-length clear glass if visible from the street in front of the property. Anything other than full-length clear glass is subject to review and approval by the MC. The doorframe must be earth-toned, without ornamentation or grill work.

Section 4.4 – Barbeque Pits, Permanent Grills and Outdoor Fireplaces

Any permanent outdoor fireplace/barbeque pit or grill will require a building permit from the Town of Prosper.

Any submittal must follow the Town of Prosper building and fire codes for consideration by the MC.

Please refer to “Exhibit A” for setback requirements.

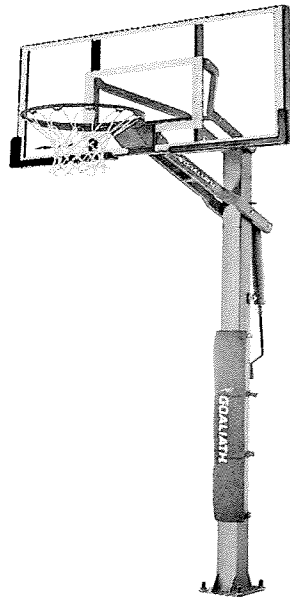
- Attached and/or Free-Standing Units:
 - All units must compliment the architectural style of the home,
 - All units must be constructed of 100% masonry, utilizing materials that match the original construction of the residence.

Section 4.5 – Basketball Goals and Backboards

General: There is a limit of one goal of any type per Lot.

(i) Permanent In-Ground Basketball Systems:

- Must be submitted for approval prior to installation. Submittal must include a brochure and the proposed location on a scaled survey plat.
- Backboard must be transparent.
- Goal is only allowed in front and side yards, outside of fence and the concrete pad cannot be larger than 18” square.
- System should be a brand similar to Spalding Pro In-Ground Acrylic Basketball Hoop or Goliath Prodigy Tempered Glass In-Ground Basketball System. Example is shown below.



- Sport courts are not permitted in the Property.

(ii) Permanent-Mounted Backboards:

- Must be submitted for approval prior to installation. Submittal must include a brochure and the proposed location on a scaled survey plat.

- Permanent mount backboards will only be allowed on homes with a 3-car garage (2/1 split not tandem)
 - Backboards mounted on the front elevation of the residence must be mounted so as to be perpendicular vs. front facing the street in front of the Lot.
 - Backboards must be mounted to avoid balls going into an adjacent Lot, street, or alley.
 - Backboards must be transparent.
 - Backboard must be regulation size, 42 inches high and 72 inches wide.
 - Backboard supports must be black fiberglass or metal.
- (iii) Portable Basketball Goal:
- System must be located so as to avoid balls going into an adjacent Lot, street, or alley.
 - Portable Goals must be placed perpendicular vs. front facing the street in front of the Lot on the driveway.
 - System must never be placed in any street or cul-de-sac. System must be always located on owner's Lot.

Section 4.6 – Birdhouses, Feeders, Fountains, Statues and Sculptures

- (i) Birdhouses and Feeders:
- Birdhouses must be located in the back or side yard and must not be visible from the street in front of the Lot.
 - Pole-mounted birdhouses and feeders must not exceed 6 feet in pole height and the house may be no larger than 12 inches x 12 inches square.
 - Pole material is to be limited to wood or metal and must be painted earth tone or the dominant trim color of the residence.
 - One pole-mounted birdhouse or feeder per residence.
- (ii) Fountains, Planters, Statues and Sculptures:
- Fountains, planters, statues and sculptures that are to be placed in a location visible from any street or adjoining Lot must be submitted and approved by the MC.

Section 4.7 – Clotheslines and Clothesline Supports

Exterior clothesline and clothesline supports are not permitted.

Section 4.8 – Decks, Patios, Trellis, Gazebos and Arbors

Locations shall be confined to the side or rear yard and be located in conformance with the established building setbacks, see *Exhibit "A"*.

- (i) Decks and Patios:
- Decks that are elevated in such a manner where a "skirt" is necessary may also be required to install non-deciduous (evergreen) shrubbery around the perimeter of the deck concealing the skirt from view of adjoining properties.
 - Decks and patios may not alter the lot drainage plan or divert runoff to an adjacent Lot or Common Area.

- Decks and patios require a Town of Prosper building permit, which should be obtained following MC approval. Owners should consult the Town of Prosper website for any specific requirements.

(ii) Gazebos and Arbors:

- Gazebos and arbors shall be proportionate in size to the main residence but in no case shall they exceed 12 feet in height above grade.
- They must be located within building setbacks such that the outermost edge of the structure is not within the setback and not positioned on any part of an easement.
- If painted, color shall match or be consistent with the trim color of the main residence. If stained, color used should be a natural wood-tone.

(iii) Trellises:

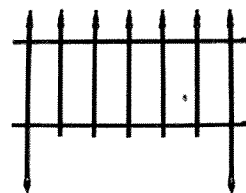
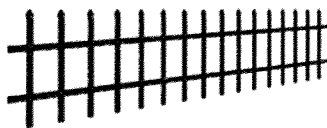
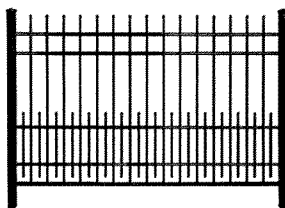
- A trellis should be a "continuation" or a complement of the architectural style of the residence (both in design, color and materials).
- No structure will exceed an overall height of 8'-0" (above grade).
- No trellis will be attached to any fence.

Section 4.9 – Puppy Bars and Dog Runs

(i) Dog Runs:

- The location and materials to be used in the construction of a dog run requires MC approval. Strong consideration will be given to the distance between neighboring Lots and the potential impact the run might have on these Lots.
- Dog runs must be contained within privacy fencing.
- Run enclosures may not be taller than the yard fence.
- Runs within opaque 6-foot fences may be of chain link.
- It is strongly suggested that all dog runs have natural groundcover or be paved with concrete or pea gravel AND provide a fully shaded area for the animal.

(ii) Puppy Bars: To enclose the gap between the base of the wrought iron fence and ground for the purpose of keeping animals in or out of a yard, garden edging may be utilized. Edging must be a black powder coated galvanized steel, only straight vertical bars going the same direction as the bars on the wrought iron fence (decorative scroll designs are not permitted), and maximum height of 18 inches. Placement must be on the interior of the fence, close together with no gaps so it appears as one continuous line. Mesh is prohibited. Examples are shown below.



1.5' Height

18" Height

18" Height

In the event there is suspicion of animal abuse, owners are encouraged to contact the Town of Prosper or the local SPCA.

Section 4.10 – Driveways, Parking Pads and Sidewalks

All hard surface additions must comply with these Amended Design Guidelines.

- Added hard surfaces must be of same material as existing flatwork. It must be proportionate and harmonious with existing hardscape and landscape.
- Parking pads and sidewalks must be a minimum of 1.5' off any property line.
- If adjacent to a greenbelt or Common Area, the proposed flatwork must be screened by an approved privacy fence or shrubbery.

Section 4.11 – Energy Conservation Equipment

(i) Attic Ventilators:

- Roof mounted ventilation devices must be installed on a roof plane not visible from the street in front of the Lot, or above the roof ridgelines.
- Device must be a dark, neutral tone or painted to match the color of the roof.
- Device must be “low profile” in nature and design.
- Unless otherwise approved, turbine ventilators are not approved unless they are similar in color to the roof, and they do not extend above the roof ridges.

(ii) Generators: *Refer to the Standby Electric Generator Policy adopted, 7-14-17.*

Section 4.12 – Fences

(i) Fencing:

- Land adjacent to any public park/public hike and bike trail require a decorative ornamental iron fence, minimum 4 foot in height, abutting said public area.
- Fencing on all other Lots will be constructed of masonry, iron or cedar.
- Masonry will only be allowed on Lots adjacent to or abutting Common Area.
- If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8-foot off center. All cedar fencing will be typical board-on-board and cannot exceed 6' in height.
- All Lots located on a corner adjacent to a street shall require either decorative metal or board-on-board fencing along the side yard adjoining the street with masonry columns, placed at 21 feet (max) off center. A detail of the required masonry column is attached. All other fencing on a corner Lot (i.e., rear and Lot-to-Lot side) may be board-on-board provided said fencing is not abutting public park or hike/bike trail/public areas which require ornamental iron.
- In deciding how to “face” the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard

for fence facings (i.e., posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

- Perimeter Fencing must be ornamental iron with masonry columns at 21 feet (max) off center and cannot exceed 4' in height.
- No approval is needed to replace an existing fence with a fence of the same material, style and color, but any proposed changed must have prior approval of the MC/NCC. For example, if the original fence was board-on-board, the replacement fence cannot be board-to-board.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL

- “Ready Seal, Medium Brown, Color number OS-015B.”

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based.

(ii) Fencing Returns:

- All lots requiring board-on-board side yard fencing will also require a board- on-board return to the residence.
- All lots requiring standard wood fences with standard wooden side yard conditions will have standard wooden returns to the residence.
- All lots requiring ornamental iron fencing require an ornamental iron return to the residence.

(iii) Fencing setbacks are as follows, see Exhibit “A”also.

- Type A/55' - no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the structure into the front yard.
- Type B/65' - no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the structure into the front yard.
- Type C/76' - no fencing shall extend beyond a point fifteen feet (15') behind the front wall plane of the structure into the front yard.
- Type D/86' - no fencing shall extend beyond a point fifteen feet (15') behind the front wall plane of the structure into the front yard.

Section 4.13 – Flagpoles and Flags

No owner may display any flag with signs, slogans, symbols, words or decorations that (in the opinion of the HOA or its agents/affiliates) detract from the general aesthetics of the community, offend, create controversy, invite ridicule or disparagement, or interfere in any way with the exercise of property rights, occupancy, or permitted business activities of any Owner or builder. *Refer to Flag Display Policy adopted 7-14-17.*

(i) Flagpoles:

- Properties are limited to one flagpole and are confined to a location that is withing 15' of the front elevation of the residence only. Flagpoles may not be located outside of the side yard setback.
- Flagpoles located within the public right of way are not allowed.

- Flagpoles shall not exceed 20' in height and are limited in color to bronze, black or earth tones.
 - Permanent and temporary flagpoles and flags may be permitted with the approval of the MC.
 - If approved, any permanent flagpoles must be installed within established building setbacks.
- (ii) Flags on flagpoles are limited to the following:
- The United States flag (current 50-star version only).
 - The State of Texas flag.
 - Applicable United States Armed Forces or the official POW/MIA flag.
 - Flags shall not exceed 4 feet x 6 feet in size.
 - Lighting placement should be sensitive to infiltration of adjoining Lots and/or residences.
- (iii) Flag Mounting Brackets:
- One flag bracket permanently affixed to the main structure is acceptable.
 - Other than the admonitions listed above, there are no specific restrictions on the types of flags that may be displayed on a flag-mounting bracket.
- (iv) Other Flag Displays:
- The following flag displays do not require approval:
- Temporary Display of one 3' X 5' United States Flag on observed United States holidays.
 - Display of the Texas state flag on December 29th.
 - Decorative ("garden") flags/banners. Only one decorative flag, includes school/sport team flags can be displayed at any time and must be confined to a location in a flower bed/landscaping within 15' of the front elevation of the residence.
 - Special Occasion Flags (birthdays, births, etc.) must be temporary and removed within 5 days of the event or occasion.

Section 4.14 – Grading and Drainage

See the Declaration, *Article XI, Sect. 11.15*.

Section 4.15 – Gutters/Downspouts and Rainwater Collection

- If installed, gutters and downspouts must match the trim of the residence.
- The effluent of the downspout must be disbursed on the Lot in a sheet flow by the time the water reaches the property line.
- It cannot be directed toward adjoining Lot and must be incorporated into the Lot's drainage plan.

- Downspouts should not be mounted on the front elevation if there is any other option.
- Rain barrels or harvesting systems must be located in rear yards only.
Refer to the Rainwater Collection Device Guidelines adopted 7-14-17.

Section 4.16 – Landscaping and Landscape Borders

- Desert landscape i.e. (gravel beds/yards, cactus, yucca, etc.) are not permitted in front elevations.
- All improved landscaped areas shall have a professionally designed automatic irrigation system.
- Landscape improvements shall not impair the function of any drainage path.
- Landscaping shall not impede sight lines needed for safe vehicular traffic movement.
- Vegetable gardens must be confined to side or rear yards and not visible from neighboring Lots, Common Areas or above the fence line.
- Refer to Section 4.1 of these Amended Design Guidelines for artificial turf.
- Tree and bed borders must be constructed of stone and/or mortar, that complement the stone on the residence. Bricks are not allowed as landscape borders.

Please refer to the Design Guidelines, Xeriscaping Guidelines adopted 7-14-17, for additional guidelines and restrictions on landscaping modifications, as well as Exhibits “B” and “C” for a list of approved plant materials and requirements for tree and shrub locations.

Section 4.17 – Lighting (Exterior)

The only Owner installed outdoor lighting permitted is landscape and security lighting which must be submitted to the MC prior to installation.

Holiday decor/lighting does not require approval; however, specific guidelines exist for illumination beginning November 15th and ending January 5th, or 1 month prior to and one week after other commonly recognized holidays. All décor/lighting must be removed by January 31st for the Christmas holiday. Pole lighting or additional street lighting is not permitted.

- Jellyfish type lighting under eaves of homes are allowed on the front of the residence, but not on sides or rear of the residence. Lighting should be white/clear except during recognized holidays.
- Lighting placement should be sensitive to infiltration of adjoining Lots and/or residences.

Section 4.18 – Painting

- No approval is required if the original approved color is used.
- Color changes will require MC approval. New colors must compliment the masonry or stucco colors and be compatible with surrounding residences.
- Accent door and shutter in earth tone colors are permitted. Bright primary colors are not considered appropriate.

Section 4.19 – Play Structures and Recreational Equipment

This includes, but are not limited to, swing sets, “fort” style play structures, playhouses, and trampolines.

(i) Play Structures / Recreational Equipment:

- Play/recreational equipment must be installed in the side or backyard and must conform with existing building setbacks for the particular lot size/zoning classification. Please refer to Exhibit “A” for setback requirements.
- No part of a play structure that is 6’ or greater in height may be located within the established setback of 5’ from any property line.
- No part of any play equipment may exceed 12 feet in height.
- All play/recreation equipment shall be constructed of cedar, redwood, or pine. Metal or plastic play equipment will be accepted provided that the overall height does not exceed 6’.
- All permanent playground equipment, including awnings, may be of wood or fabric. Fabrics used should be greens/blues or earth tone. No bright/primary colors will be allowed on fabric awnings.
- In the event a play structure requires maintenance such as paint, only the stain color approved on the initial installation will be considered acceptable.

(ii) Playhouses:

- Construction of a permanent playhouse requires a complete construction submittal including foundation plan, blueprints, building materials and colors.
- Playhouses are also confined-to the side or rear yard and located behind a 6’ cedar fence.
- The playhouse roof and facade materials and colors should match that of the main residence.
- The overall height shall not exceed 8’, not exceed 80 square feet in area and be located within established setback of 5’ from any property line.

(iii) Trampolines:

- Deck and safety netting must not exceed a height of 10 feet.
- All safety netting and supports must be a natural color (grey, tan, blue, or green); primary or bright colors are not allowed.
- Additionally, safety netting must be kept in good repair (free of tears, sagging, etc.).
- Trampolines must be set a minimum of 5’ off any side and/or rear property line.

Section 4.20 – Pools, Spas, Portable Hot Tubs and Ponds

As required by the Town of Prosper and Star Trail, pool, spa, pond or hot tub drainage must be routed into the sanitary sewer line.

Under no circumstances is surface deck or overspill drainage permitted to drain into a concentrated drain source (i.e., PVC pipe) into neighboring properties, common areas or “natural areas”.

(i) Pools:

- Construction of an in-ground pool requires the issuance of a permit from the Town of Prosper. ** Star Trail setback is 3' from the coping edge of the pool.
- Above ground pools are not permitted.
- All pools, spas and hot tubs are to be located in the side or rear yards.
- In addition to the Town permit, the MC must approve the comprehensive plan including hardscape, landscape, location of pool equipment and drainage.
- Pool equipment must be screened with fencing or shrubbery as approved by the MC.
- Pneumatic pool enclosures are not permitted.
- Fiberglass pools are not encouraged due to the movement of types of soil in North Texas.

(ii) Spas and Portable Hot Tubs:

- Hot tubs and spas shall not exceed 48 inches above grade.
- They must be located in a way that will screen them from public view.
- A drainage plan must provide that effluent will not be disbursed on adjacent Lots or Common Areas.
- Hot tub and spa equipment must be fully screened on sides visible from adjacent Lots and Common Areas, with a privacy screen that will not exceed the height of the fencing of the Lot. This screen may be a living screen of evergreen shrubs.
- Hot tubs and spas may not be located in easements or outside building setbacks.

(iii) Ponds:

- Pond size must be limited to an overall 5 feet X 5 feet.
- Pond pumps of the SILENT self-priming, sequence water garden type is permitted adjacent to the pond as long as the filter/pumping system is not visible.
- The pump and filter system must be confined in an area to monitor noise control and must be shielded from view with minimum 5-gallon non-deciduous shrubs.
- Construction drawings indicating the pool/hot tub/spa and its support equipment.

Section 4.21 – Retaining Walls

- Retaining walls must be constructed of stone, (the same natural stone used in the common areas), any wall above 3.0' in height must be designed by a certified engineer.
- Side and rear yard retaining walls are the responsibility of the high-side Lot Owner.
- Retaining walls must retain soil and are not intended to raise height restrictions of fences.

Section 4.22 – Roof Replacements

- All roof replacements are required to make a submission unless the roof is being replaced with the exact same roof (material and color).
- The roof material must compliment the other exterior materials of the house.
Please refer to the Roofing Materials Policy adopted 7-14-17.

Section 4.23 – Sheds and Storage Buildings

- Freestanding storage buildings are NOT permitted per the Declaration, *Article XI, Section 11.14.*

Section 4.24 – Shutters (Exterior)

- To give the appearance that the shutters are operable, the shutter width must not exceed one half the width of the window.
- Shutters must be compatible with the architecture of the building and proportioned and sized to match windows and doors.
- Shutters must be painted or stained to blend with the finish of the residence.
- Shutters are not permitted on windows 4 feet or wider.

Section 4.25 – Signage and Other Displays

(i) General:

- Display of signs, banners and other displays placed on an Owner's Lot and conforming to the specifications below do not require specific MC approval. All other signs/displays require approval.
- All signs must follow Town of Prosper Ordinances.
- No resident may display any signs, slogans, symbols, words or decorations that (in the opinion of the Board or its agents/affiliates) detract from the overall aesthetic appeal of the community.

(ii) Homes For Sale:

- For-sale signs are limited to one sign per yard, which must be of usual and customary size and content.
- Directional signs by Owners or their agents are not permitted on any Common Area or other Owner's Lot with the following exception:

**Directional signs advertising an open house provided they are displayed no earlier than 7:00am or later than 6:00pm on the day of the open house.

(i) Homes For Rent/Lease:

- For Rent" or "For Lease" signs must be professionally fabricated.

(ii) Garage/Yard Sales:

- Individual garage sales, estate sales, moving sales or any other similar activities are prohibited.
- The Association may sponsor a community-wide yard sale from time to time and will be responsible for applicable advertising.

(iii) Security System Signs:

- Owners may have one professionally fabricated sign indicating a security system/security monitoring.

(iv) Christmas/Fall Holiday Displays:

- Christmas/Winter holiday displays are permitted to be displayed starting the 15th of November.
- All holiday decorations, including lights, should be removed on or before January 31st.
- Offensive decorations that are not in keeping with the spirit of the community are prohibited. (i.e. gruesome Halloween decorations)
- *Refer to the Religious Item Display Policy adopted 7-14-17.*

(v) Personal Signs:

- Owners may have personal signs indicating school/sport affiliations and birth announcements provided such signs do not deter from the general aesthetic appeal of the neighborhood. Birth announcements, however, should be removed within 5 days following the birth.
** Signs intended to advertise Owner's commercial products or services are not allowed.

(vi) Election/Political Signs or Other Political Displays:

- Elections signs are limited to one sign per candidate or measure for an election.
- These signs are permitted 90 days prior to the election and must be removed within 10 days after the election.
- Signs must be compliant with applicable city, county and state election laws/regulations.

(vii) Vendor Signs:

- One vendor sign may be displayed upon start of project and must be removed upon completion of project. No personal business advertisement signage is allowed.

(viii) Signs in Common Areas:

- Any signs posted in Common Areas other than to advertise an 'open house' as described above, must have prior consent from the Board or such signage will be removed and discarded.

Section 4.26 – Skylights/Solar Panels

- Skylights shall match the color of the roof on the residence (i.e., clear bronze).
- "Milky" colored skylights are not preferred since they do not match typical roof colors and usually "draw attention" rather than blend with the surroundings.
Refer to the Solar Energy Device Policy adopted 7-14-17.

Section 4.27 – Tree and Plant Removal

See *Article XI, Section 11.16* of the Declaration, and Town of Prosper Ordinances.

- Except for dead trees (which may be removed without prior approval), Owners must obtain specific approval to remove a tree 3" caliper or greater (measured one foot above grade).

- Existing trees shall not be removed without prior written consent of the MC. Trees that are removed without approval or demolished due to neglect shall be replaced with trees of comparable caliper inches at the sole cost and expense of the Lot's Owner. The MC may elect to reduce or waive the replacement trees when it can be demonstrated that appropriate mitigating measures have been taken.
- See "Exhibit C" for a list of approved plant materials.

Section 4.28 – Window Replacement and Additions

- Replacement of identical windows does not require approval.
- Additional windows are required to be indicated with a drawing depicting the elevation, which the new windows appear.
- Window additions or revisions should match the existing windows in style, material, reflectivity, and color.

Section 4.29 – Other Aesthetic Issues

The issues below are provided as informational as they pertain to the overall aesthetic appeal of the Property:

(i) HVAC Units:

- All HVAC units must be screened from view by a live screening wall.

ARTICLE V

NCC Design Guidelines by Phase

Section 5.1 – List of NCC Design Guidelines by Phase

- The NCC has adopted specific design guidelines for the individual phases of Star Trail. These guidelines are attached as Exhibits D-1 through D hereto.
- Exhibit D-1: Design Guidelines for Phase 1A and 1B
- Exhibit D-2: Design Guidelines for Phase 2
- Exhibit D-3: Design Guidelines for Phase 3
- Exhibit D-4: Design Guidelines for Phase 4
- Exhibit D-5: Design Guidelines for Phase 5
- Exhibit D-6: Design Guidelines for Phases Six & Seven
- Exhibit D-7: Design Guidelines for Phases Eight & Nine

ARTICLE VI

APPENDIX

Accuracy of Information and Representation

Applicants making submissions to the MC shall be responsible for accuracy of and verification of data. A portion of this data might include site dimensions, grades, elevations, utility locations and other features of the Lot. Owners represent by the act of entering the MC review process, all representatives of the property owner (i.e., architect, engineer, builder, subcontractors, etc.). shall be made aware by the property owner of all applicable requirements set forth by the MC and shall abide by these Amended Design Guidelines with respect to approval of plans and specifications.

Enforcement

The Declaration specifically address the provisions for enforcement of these Amended Design Guidelines.

Miscellaneous

In the event of a conflict between these Amended Design Guidelines and the terms of the Declaration, the Declaration shall prevail.

Non-Liability of the MC

As described in the Declaration, the MC shall not be liable to anyone submitting plans for approval in accordance herewith or to any other Person for damages (whether direct, indirect, consequential or otherwise) arising out of or in connection with:

- (i) The approval or disapproval or failure to approve or disapprove any such plans
- (ii) enforcement or failure to enforce any site maintenance or other requirements hereof;
- (iii) the approval or disapproval of, or failure to approve or disapprove, any architectural, landscaping, development or other plans for improvements to any property adjacent to, or situated on or in the proximity of the Properties;
- (iv) the development or construction of, or the failure to develop or construct, any: improvements (including landscaping) on lands adjacent to or in the proximity of the Properties; or
- (v) defects (whether latent or otherwise) in such plans.

Regulatory Compliance

Plans submitted for review must comply with all applicable building codes, zoning ordinances and other local and federal codes as they pertain to the modification. It is the property owner's responsibility to obtain all necessary permits and ensure all governmental compliance. Regulatory approvals do not preclude the authority and responsibility of the MC for design review and approval by the MC does not preclude the property owner from obtaining any necessary governmental approvals.

Waiver, Amendment and Third-Party Benefit

As described in the Declaration, these Amended Design Guidelines may be waived amended or modified from time to time. Neither the MC, its agents, representatives or employees shall be liable for failure to follow these Amended Design Guidelines as herein defined. These Amended Design Guidelines confer no third-party benefit or rights upon any entity, person, or builder.

GENERAL DEFINITIONS

The definitions contained in the Declaration are hereby incorporated herein by reference.

Exhibit "A" – Setback Requirements

Front Concrete Driveways/Parking Pads/Sidewalks	1.5' set-back to any property line.
Fences for Lot Type A & B	10' set-back from the front wall plane/front facing elevation.
Fences for Lot Type C & D	15' set-back from the front wall plane/front facing elevation.
Gazebos/Arbors/Kitchens/Shade Structures	5' set-back from outermost edge of structure to any property line.
Fireplaces/Firepits/Trampolines/Playsets	5' set-back to any property line.
Pools/Hot Tubs/Concrete Patios (Rear yard)	3' set-back to any property line, pool set-back is from the coping edge, not the waterline.

- Please note that building setbacks need to be observed for attached and detached buildings per the Town of Prosper Ordinances and require a permit.

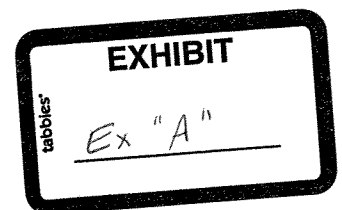


Exhibit “B” – Acceptable Landscape for Lots and Properties

Large Trees (Shade)	Small Trees (Ornamental)	Shrubs	
Afghan Pine	Birds of Paradise	American Beautyberry	Hypericum
American Elm	Buckeye, Mexican	Agarita	Italian Hawthorn
Arizona Cypress	Buckeye, Red	Aromatic Sumac	Italian Jasmine
Bald Cypress	Buckeye, Texas	Bridal Wreath Spirea	Leatherleaf Mahonia
Bigelow Oak	Carolina Buckthorn	Burford Holly	Miniature Crepe Myrtle
Bur Oak	Crepe Myrtle (tree form)	Chinese Photinia	Nellie R. Stevens Holly
Caddo Maple	Desert Willow	Cleyera	Oakleaf Hydrangea
Cedar Elm	Eastern Red Cedar	Compact Nandina	Purple Leaf Japanese
Chinquapin Oak	Eve’s Necklace	Coral Berry	Barberry
Durand Oak	Hawthorne	Crimson Pygmy	Red Yucca
Lacebark Elm	Hollywood Juniper	Barberry	Rose of Sharon (Althea)
Lacy Oak	Japanese Black Pine	Dwarf Burford Holly	Semi-Dwarf Crepe Myrtle
Live Oak	Juniper, Blue Point	Dwarf Burning Bush	Smooth Sumac
Pecan	Juniper, Wichita Blue	Dwarf Chinese Holly	Spiraea
Shumard Oak	Mesquite	Dwarf Crepe Myrtle	Standard Nandina
Southern Live Oak	Mexican Plum	Dwarf Glossy Abelia	Texas Sage
Southern Magnolia	Ornamental Pear*	Dwarf Pomegranate	
Texas Ash	Pomegranate	Dwarf Spirea	
Texas Red Oak	Possum Haw Holly	Dwarf Wax Myrtle	
Western Soapberry	Redbud	Dwarf Yaupon Holly	
**Sylvesters Palm	Rough Leafed Dogwood	Elaeagnus	
trees are allowed in	Texas Persimmon	Flowering Quince	
rear yard.	Vitex	Forsythia	
	Wax Myrtle	Foster Holly	
	Winter/Bush Honeysuckle	Glossy Abelia	
	Yaupon Holly	Harbor Dwarf Nandina	

*Ornamental Pear does not include Bradford Pear.

Groundcover	Ornamental Grass	
Asiatic Jasmine	Autumn Blush Muhly	Inland Seat-Oats
Avens, White	Big Bluestem	Lindheimer’s Muhly
Frog Fruit	Black Fountain Grass	Little Bluestem
Ground Ivy	Blue Grama	Maiden Grass
Hardy Plumbago	Broom Sedge	Morning Light Maiden
House Herb	Bushy Bluestem	Ravenna Grass
Liriope or Lily Turf	Canada Wildrye	Side Oats Grama
Mondo or Monkey Grass	Dwarf Maiden Grass	Silver Bluestem
Pigeonberry	Dwarf Pampas Grass	Split Beard Bluestem
Purple Leaf Euonymus	Eastern Gamma Grass	Standard Fountain Grass
Santolina	Feather Reed Grass	Switch Grass
Snake Herb	Hamelin’s Fountain Grass	Variegated Japanese Silver Grass
Wood Violet	Indian Grass	Zebra Grass

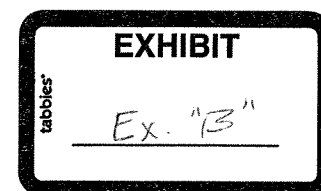


Exhibit "C" – Tree & Shrub Requirements for Front/Side Yards

Phase	Lot Type	1 Shade Tree	2 Shade Trees
Phase I	A	✓	
	B, C & D		✓
Phase II	D		✓
Phase III	A	✓	
Phase IV	B & C		✓
Phase V	C & D		✓
Phase VI	A	✓	
Phase VII	A	✓	
	B		✓
Phase VIII	C		✓
Phase IX	D		✓

- Each large tree must be a minimum of 4 caliper inches as measured at 12 inches above grade.
- Type A, B, C and D located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

Streetscape Plans

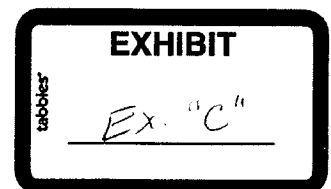
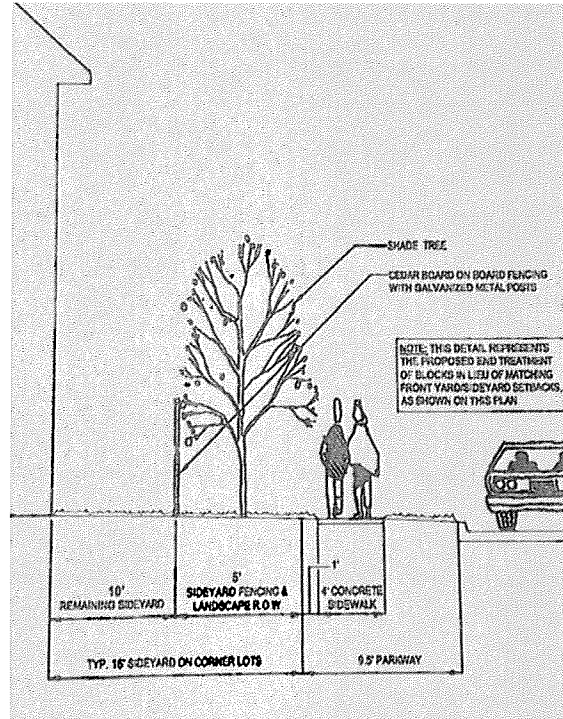
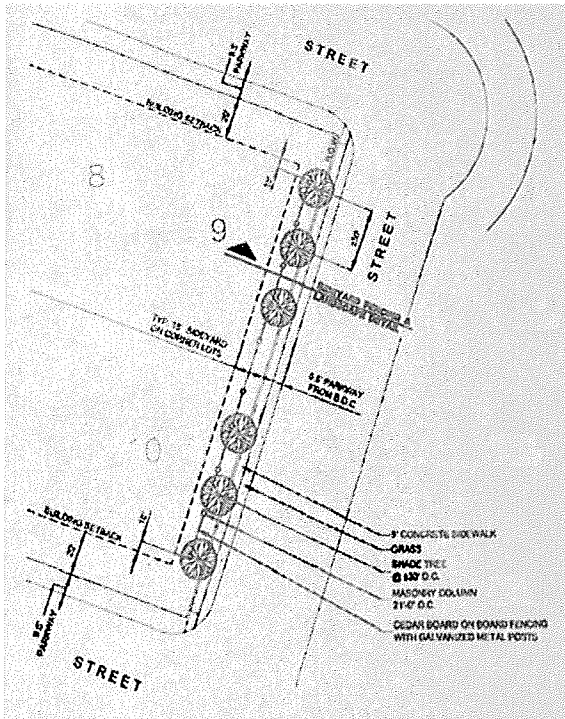


Exhibit "C" con't.

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the residence visible from a street or Common Area.

Type A Lots - Minimum 12 - 3 gallon shrubs across the front elevation of the home.

Type B Lots - Minimum 15 - 3 gallon shrubs across the front elevation of the home.

Type C Lots - Minimum 20 - 3 gallon shrubs across the front elevation of the home.

Type D Lots - Minimum 20 - 3 gallon shrubs across the front elevation of the home.

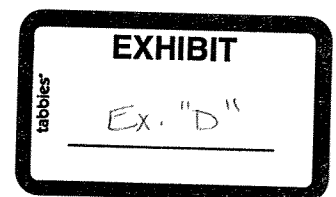
In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring Lots and streets by a privacy fence.

Corner Lots adjacent to a street, including Lots with a side elevation facing the front elevation of a residence, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

Exhibit "D" – NCC Design Guidelines by Phase

- Exhibit D-1: Design Guidelines for Phase 1A and 1B
- Exhibit D-2: Design Guidelines for Phase 2
- Exhibit D-3: Design Guidelines for Phase 3
- Exhibit D-4: Design Guidelines for Phase 4
- Exhibit D-5: Design Guidelines for Phase 5
- Exhibit D-6: Design Guidelines for Phases Six & Seven
- Exhibit D-7: Design Guidelines for Phases Eight & Nine



The Villages of Star Trail Design Guidelines

September 14th, 2017 PHASE 1A and 1B

1 TITLE AND SCOPE

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as "Guidelines" for Star Trail.

101 PURPOSE

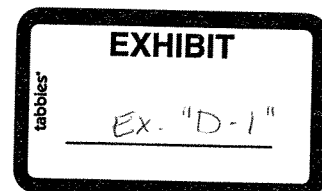
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the "Declaration") of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgment and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to insure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner's individual taste in design, colors and materials.



200

PROCESS FOR CONSTRUCTION**SUBMITTAL OF MASTER PLAN SET**

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of StarTrail NCC and Blue Star Allen Land, LP.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at $\frac{1}{8}$ " scale;
 - b. Front elevations with finish notations at $\frac{1}{8}$ "=1 ft. scale; remaining elevations with finish notations at $\frac{1}{8}$ " = 1 ft. scale. All elevations should show dimensions with:
 - i. %-age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by Blue Star Allen Land, LP.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully

complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 **MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS**

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 **SITE PLAN SUBMITTALS**

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 **MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION**

Type A Lots - Each **single story** dwelling constructed on a Type A lot shall contain a minimum of **1800 square feet** of floor space, maximum of **3600 square feet**; **two story** dwellings shall contain a minimum of **2000 square feet** of floor space, **maximum of 3900 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type B Lots - Each **single story** dwelling constructed on a Type B lot shall contain a minimum of **2300 square feet** of floor space, maximum of **4200 square feet**; **two story** dwellings shall contain a minimum of **2650 square feet** of floor space, maximum of **4400 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type C Lots - Each **single story** dwelling constructed on a Type C lot shall contain a minimum of **2500 square feet** of floor space, maximum of **4600 square feet**; **two story** dwellings shall contain a minimum of **3000 square feet** of floor space, maximum of **4800 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type D Lots - Each **single story** dwelling constructed on a Type D lot shall contain a minimum of **3000 square feet** of floor space; **two story** dwellings shall contain minimum of **3500 square feet** of floor space. There are no limitations on maximum square footage on Phase I Type D lots.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204

FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to

the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

******The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.***

205 **BRICK REPEAT RESTRICTIONS**

On all Star Trail lots on the same side of a village street, repeat of brick shall be limited to one in every three lots (ie. a minimum two (2) lot separation.

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring painted brick and stucco will adhere to the same repeat standards as stated above.

206 **PLATE HEIGHT**

Each Type A and Type B home shall have a minimum principal plate height of 9' on the first floor.

Each Type C and Type D home shall have a minimum principal plate height of 10' on the first floor.

300 **LANDSCAPE REQUIREMENTS**

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6") or more in diameter at a point four feet (4') above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

301 **IRRIGATION**

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

302 LANDSCAPE LIGHTING

While not a requirement for any home built in StarTrail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

303 REQUIRED LANDSCAPE MATERIAL

LAWNS, FRONT, REAR AND SIDE

Yards (including front, side and rear) shall be completely sodded.

REQUIRED TREE PLANTINGS

All Phase I, Type B, C and D lots within Star Trail must have a minimum of two (2) large trees in the front yard (species of tree from the following list.) Each large tree must be a minimum 4 caliper inches as measured at 12 inches above grade.

All Phase I Type A lots within StarTrail must have a minimum of one (1) large tree in the front yard. Each large tree must be a minimum of 4 caliper inches as measured at 12 inches above grade.

All Phase I lots, Type A and B must have a minimum 1 large tree in the rear yard.

All Phase I lots, Type C and D must have a minimum 2 large trees in the rear yard.

All Phase I lots, Type A, B, C and D located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify a **minimum** of the following for each zoning classification:

Type A Lots, typical 6,875 sq. feet - Minimum 12, 3 gallon shrubs across the front elevation of the home.

Type B Lots, typical 8,125 sq. feet - Minimum 15, 3 gallon shrubs across the front elevation of the home.

Type C Lots, typical 10,260 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

Type D Lots, typical 11,610 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

The following criteria should be considered when selecting plants for use within Star Trail:

2. Native species and evergreens;
3. Relatively resistant to insects and diseases;
4. Cold hardy material
5. Adaptability to existing soil conditions; and
6. Long life expectancy.

304

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak
10. Sycamore

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed Dogwood
7. Texas Persimmon
8. Tree-Form Holly, e.g. Nellie
R. Stevens Holly, Foster Holly
9. Desert Willow
10. Hawthorne
11. Ornamental Pear
12. Possumhaw Holly
13. Vitex

SHRUBS

- | | |
|--------------------------------------|----------------------------------|
| 1. Dwarf Glossy Abelia/Glossy Abelia | 12. Dwarf Chinese Holly |
| 2. Juniper | 13. Purpleleaf Japanese Barberry |
| 3. Barberry | 14. Nandina |
| 4. Texas Sage (Cenizia) | 15. Encore Azalea(?) |
| 5. Dwarf Yaupon Holly | |
| 6. Dwarf Burford Holly/Burford Holly | |
| 7. Indian Hawthorne(?) | |
| 8. Cleyera | |
| 9. Nellie R. Stevens Holly | |
| 10. Sweet Viburnum | |
| 11. Willowleaf Holly | |

STRUCTURES

400 ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in StarTrail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

401 EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (**no siding of any kind will be allowed**).

Acceptable finishes are the following:

- A. Brick: except white or gray brick, which are not permitted. Brick may be painted with the approval of the NCC as to color.
- B. Stone
- C. Cementitious lap siding (no more than 30% on any individual elevation in Type A and Type B lots; 20% max on Type C and Type D lots) 100% masonry on all front elevations. NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement except in recessed and/or cantilevered features. Examples are porches, dormers, etc.
- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

402 BALCONY PLACEMENT

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

403 WINDOWS

All window framing will be bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

404 **EXTERIOR WALL COLORS**

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

405 **GARAGES AND DRIVEWAY MATERIALS**

All StarCreek homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front façade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be “carriage style door” designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

DRIVEWAYS

All Star Trail Phase 1 residential lots in zoning classification Types A, B and D will feature driveways constructed of 60mm Belgard Brick pavers installed in a herringbone pattern. Color of paver is Fossil Beige.

All Type C Driveways in Star Trail Phase 1 will be a salt finish natural concrete with stain colors to be approved by NCC prior to construction.

403 DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

404 AWNINGS

Awnings are prohibited in Star Trail.

405 DETACHED STRUCTURES

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

406 FENCING

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Lots Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative wrought iron fence, minimum 4 foot in height, abutting said public area. (PD-66 as Amended May, 2017)

Phase 1A, Lots 1 – 11, Block G feature developer installed iron fence along the rear property line adjoining the lake. Sideyard fencing on these lots shall be iron to a point 10 feet from the rear fence and transition to board on board.

At the point of transition, a 4X4 inch black iron post will anchor the two sections.

Builders will work to ensure a constant fence height is maintained. In the event a fence height must vary, it will always be “evenly stepped” in panels vs. a slope in the overall fence.

Developer/Builder Installed Corner Lots

All residential lots located on a corner adjacent to a street require either decorative iron or board-on-board fencing along the sideyard adjoining the street. Masonry columns, placed at 21 feet OC, are required along all corner lot sideyards. A detail of the required masonry column is attached.

All other fencing on a corner lot (ie. rear and lot-to-lot side) may be board-to-board provided said fencing is not abutting public park or hike/bike trail/public areas which require decorative iron.

Lots Adjacent to HOA-owned areas

Masonry will only be allowed on lots adjacent to or abutting HOA-owned common area.

Builder Installed Cedar Fencing

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. Unless specifically designated as Board-on-Board, all cedar fencing will be typical board-to-board per the attached exhibit.

In deciding how to “face” the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, IE. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use "Ready Seal, Medium Brown, Color number OS-015B."

FENCING RETURNS:

All lots requiring board-on-board sideyard fencing will also require a board-on-board return to the house.

All lots requiring standard wood fences with standard wooden sideyard conditions will have standard wooden returns to the house.

All lots requiring wrought iron fencing require a wrought iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:

The fencing setbacks for the four StarTrail lot classifications are as follows:

*Type A/55' lot zoning - no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the structure into the front yard.

*Type B/65' lot zoning - no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the structure into the front yard.

*Type C/76' lot zoning - no fencing shall extend beyond a point fifteen feet (15') behind the front wall plane of the structure into the front yard.

*Type D/86' lot zoning - no fencing shall extend beyond a point fifteen feet(15') behind the front wall plane of the structure into the front yard.

407

AIR CONDITIONERS

No window or wall air conditioning units will be permitted on any building in StarTrail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

408 **FIREPLACES AND CHIMNEYS**

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

409 **SWIMMING POOLS, ALL OUTDOOR STRUCTURES**

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

410 **MAILBOXES**

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. The mailboxes will be purchased and installed by the Developer and rebilled to the builders at each lot closing.

A map showing all CPU locations and size attached.

Villages of Star Trail New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in StarTrail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of StarTrail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: ____ Phase: __ Lot/Block: ____ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Options: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR SELECTIONS

SIDING:

Wood: ____ Manufacturer & Stain/Paint Color: _____

Cementitious: ____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in StarTrail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

**NCC Submittal Application
Page Two**

MASONRY:

Stone: _____ Color: _____
Stucco: _____ Color: _____
Brick: _____ Manufacturer/Color: _____

ROOFING:

Composition: _____ Manufacturer/Color: _____
Tile: _____ Manufacturer/Color: _____

GARAGE DOOR PAINT/STAIN: Manufacturer/Color: _____

General Comments: _____

MATERIAL AND COLOR APPROVALS:

SIDING %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

MASONRY %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

COLORS:

SIDING: WOOD PAINT: _____ WOOD STAIN _____

CEMENTATIOUS: _____

GARAGE DOOR STAIN: _____

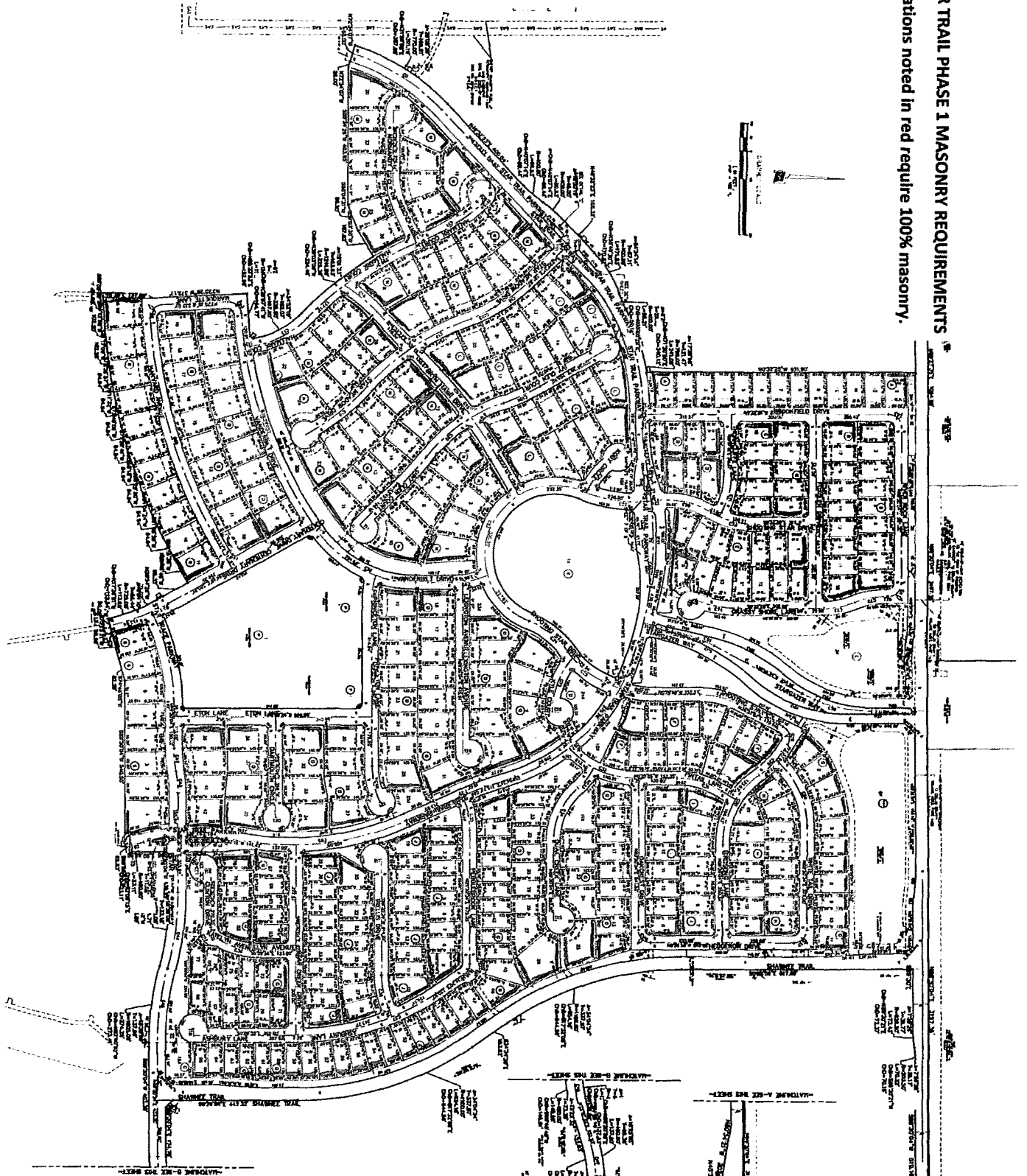
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ROOFING: _____

COMMENTS: _____

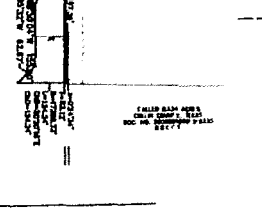
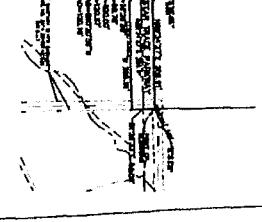
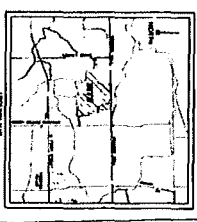
REVIEWED ON: _____ BY: _____

STAR TRAIL PHASE 1 MASONRY REQUIREMENTS
Elevations noted in red require 100% masonry.



STAR TRAIL PHASE ONE
FINAL PLAN
DATE: 12/01/2022
SCALE: AS SHOWN
PROJECT NO: 2022000171468
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

NOTES:
1. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
2. RED ELEVATIONS INDICATE 100% MASONRY REQUIREMENTS.
3. SEE ATTACHED SHEETS FOR COMPLETE PLAN.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
8. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL MAINTAIN PROPER SITE SECURITY AND SAFETY.
10. THE CONTRACTOR SHALL MAINTAIN PROPER RECORD DRAWINGS AND AS-BUILT DOCUMENTATION.

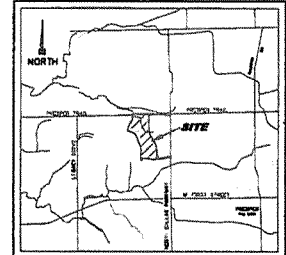


11/15/2022 10:51:04 AM ADDRESS PLAT FILED BY ACD-PJA, 10/26/2022 3:52:54 PM, Johnson, Dwayne, Addressing & Easements, Inc. #2

RECORDING:
 1547 PM 2022
 157 PLANNING DATE STAMPED ONLY SET ON THE NORTHWEST CORNER OF
 COUNTY ROAD 36 (PROSPER TRAIL) AND COUNTY ROAD 36, 37 (1/2-1/2) NORTH OF
 CENTERLINE OF COUNTY ROAD 36, AT (1/2-1/2) EAST OF CENTERLINE OF COUNTY
 ROAD 36
 ELEVATION=524.94'
 * 1: GUE ON RALEY ON THE NORTH SIDE OF WEST PROSPER
 TRAIL, APPROXIMATELY 200' EAST OF BARRINGER TRACKS.
 ELEVATION=524.37'



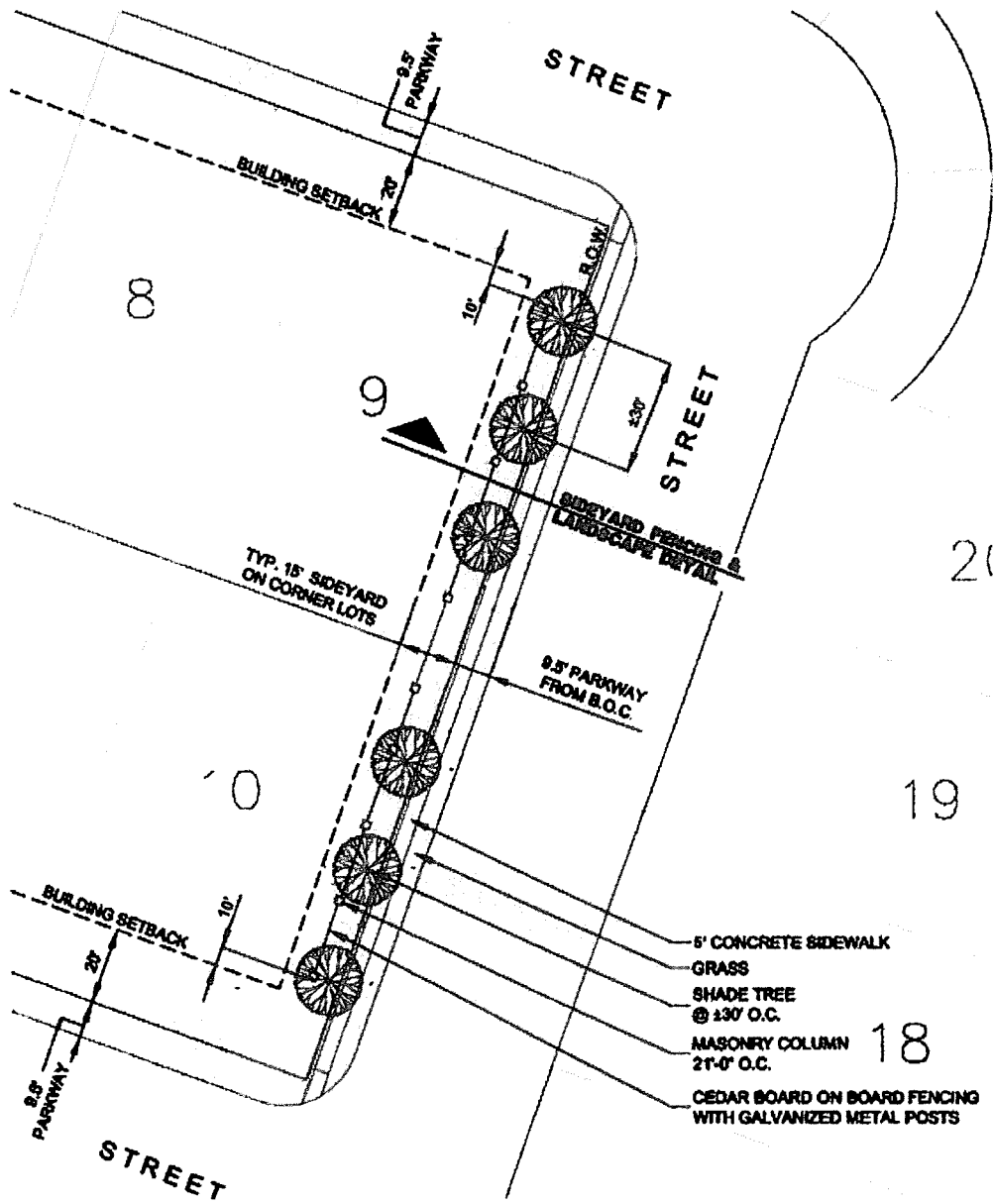
- 6' Board on Board with 18" Masonry Columns By Builder
- 6' Board on Board with 18" Masonry Columns By Developer
(only applies to lots with sideyard retaining walls)
- 6' Iron with Masonry Columns By Developer
- 6' Board to Board By Builder



175 RESIDENTIAL LOTS
 10 COMMON AREA LOTS
 66.032 ACRES
ADDRESS PLAT
STAR TRAIL PHASE ONE A
 AN ADDITION TO THE TOWN OF PROSPER
 COLLIN COUNTY, TEXAS
 JULY 2017
 OWNER/DEVELOPER
 BLUE STAR ALLEN LAND, LP.
 8000 WARREN PARKWAY BLDG 1, SUITE 100
 FRISCO, TEXAS 75034
 FAX: 214-387-7781
 CONTACT: SCOTT SHIPP
 PR: 972-543-2412
 PLANNER/ENGINEER/SURVEYOR

DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 200 Frisco, Texas 75034 972-931-0034
 STATE REGISTRATION NUMBER: P-399

EXHIBIT "C"
STREETScape PLAN

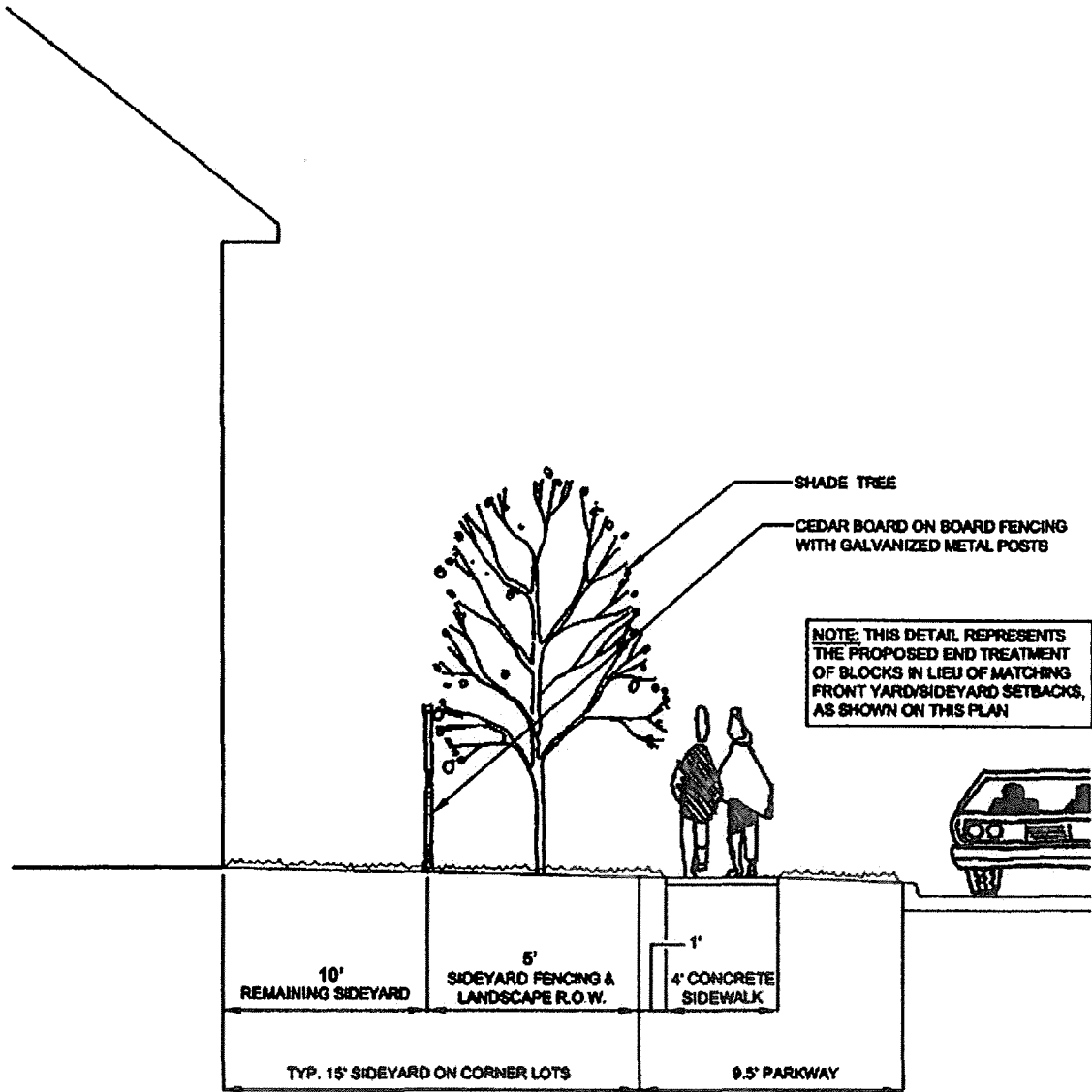


SIDEYARD FENCING & LANDSCAPE PLAN

PLAN

SCALE: N.T.S.

EXHIBIT "D"
STREETSCAPE PLAN



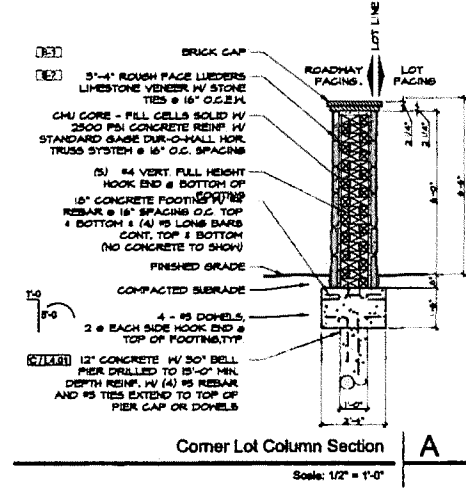
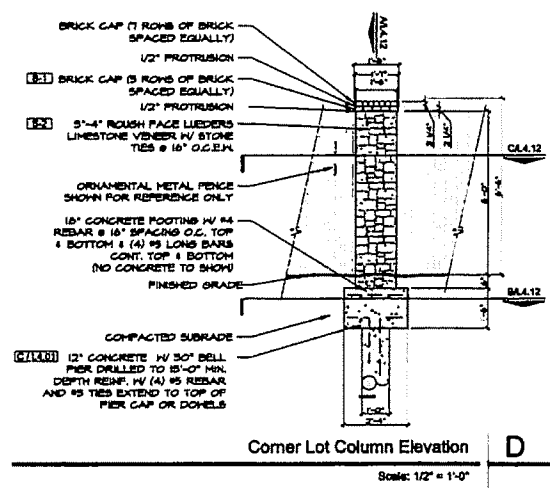
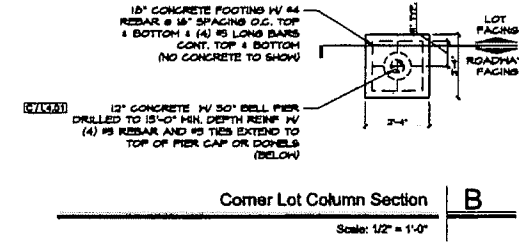
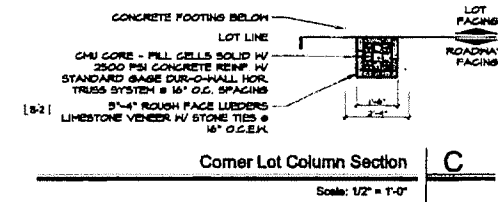
SIDEYARD FENCING & LANDSCAPE DETAIL

SECTION/ELEVATION

SCALE: N.T.S.

Brick for Columns is Acme Richland Meadows

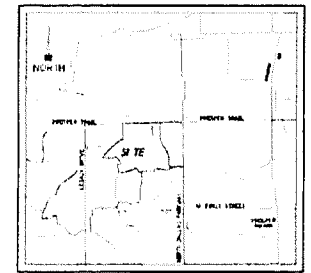
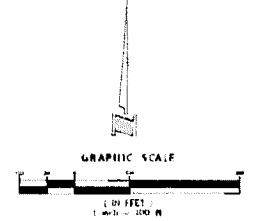
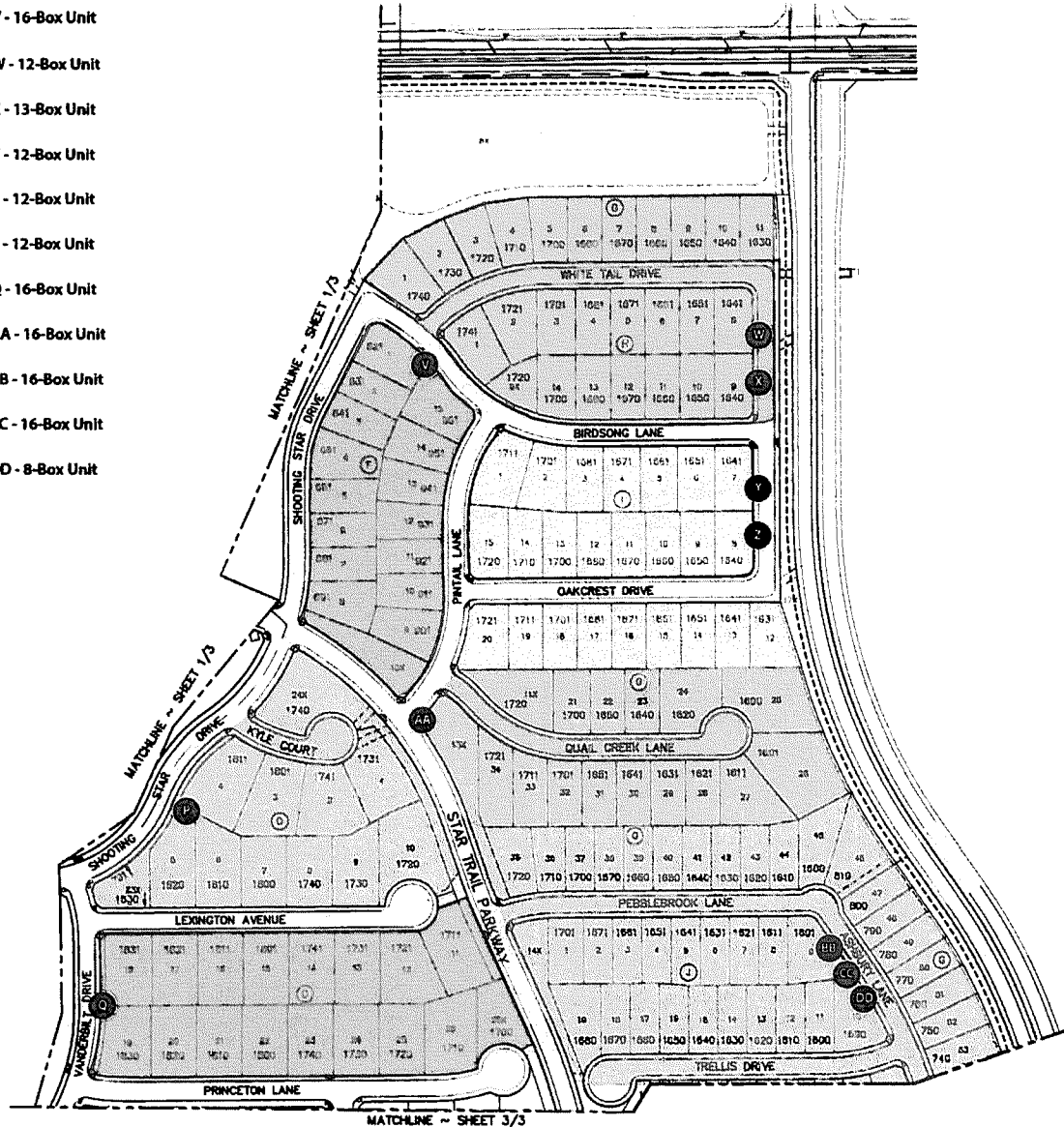
Stone is Leuders Limestone



CORNER LOT COLUMN AS BUILT DETAIL STAR TRAIL

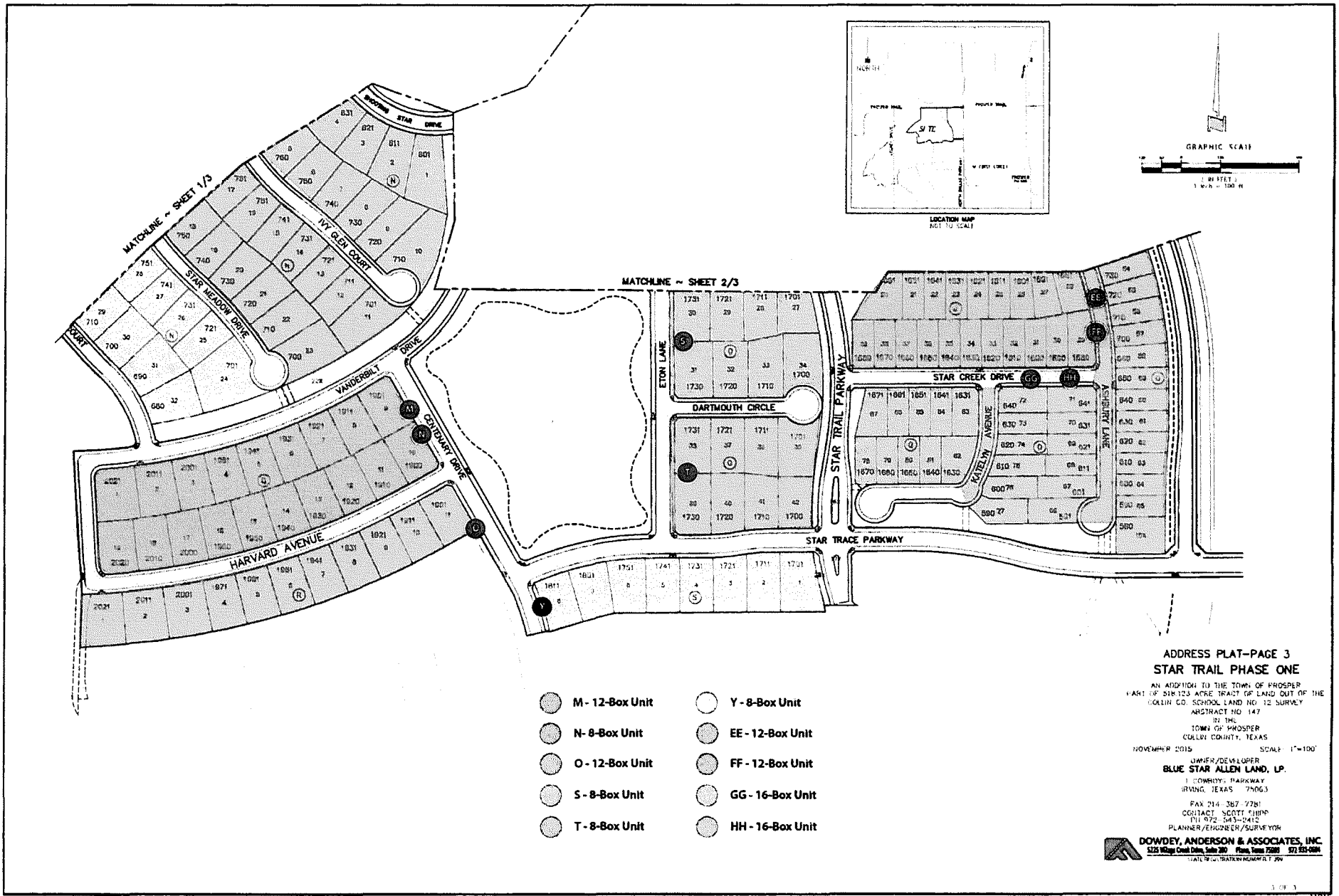
Phase 1A and 1B CBU locations

- V - 16-Box Unit
- W - 12-Box Unit
- X - 13-Box Unit
- Y - 12-Box Unit
- Z - 12-Box Unit
- P - 12-Box Unit
- Q - 16-Box Unit
- AA - 16-Box Unit
- BB - 16-Box Unit
- CC - 16-Box Unit
- DD - 8-Box Unit



ADDRESS PLAT—PAGE 2
STAR TRAIL PHASE ONE
 AN ADDITION TO THE TOWN OF PROSPER
 PART OF NE 1/23 ACR. TRACT OF LAND OUT OF THE
 COLLIN CO. SCHOOL LAND NO. 12 SURVEY
 ABSTRACT NO. 147
 IN THE
 TOWN OF PROSPER
 COLLIN COUNTY, TEXAS
 NOVEMBER 2015 SCALE 1"=100'
 OWNER/DEVELOPER
BLUE STAR ALLEN LAND, LP.
 COLUMBUS PARKWAY
 IRVING, TEXAS 75038
 FAX 214-347-2781
 CONTACT: SUELLI SHIPP
 PH 972-543-2412
 PLANNER/ENGINEER/SURVEYOR
DOWDEY, ANDERSON & ASSOCIATES, INC.
 525 102nd Street Dallas, Texas 75243 Phone: (972) 392-8100
 STATE REGISTRATION NO. 00487-739

Phase 1A and 1B CBU locations



**ADDRESS PLAT-PAGE 3
STAR TRAIL PHASE ONE**

AN ADDITION TO THE TOWN OF PROSPER
PART OF 518.123 ACRE TRACT OF LAND OUT OF THE
COLLIN CO. SCHOOL LAND NO. 12 SURVEY
ABSTRACT NO. 147
OF THE
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

NOVEMBER 2015 SCALE: 1"=100'

OWNER/DEVELOPER
BLUE STAR ALLEN LAND, LP.
1 DOWNEY PARKWAY
IRVING, TEXAS 75063

PLANNED BY
FAX 214-387-7781
CONTACT SCOTT SHIPP
714-972-343-2412

PLANNER/ENGINEER/SURVEYOR

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 • Plano, Texas 75093 • 972-853-0084
STATE REG. LICENSE NO. 00001739

The Villages of Star Trail Phase 2 Design Guidelines

January, 2020 - Type D Lots

1 TITLE AND SCOPE

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as "Guidelines" for Star Trail.

101 PURPOSE

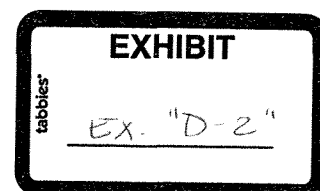
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the "Declaration") of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgement and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to ensure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner's individual taste in design, colors and materials.



200

PROCESS FOR CONSTRUCTIONSUBMITTAL OF MASTER PLAN SET

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of StarTrail NCC and Blue Star Allen Land, LP.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at 1/8" scale;
 - b. Front elevations with finish notations at 1/8" = 1 ft. scale; remaining elevations with finish notations at 1/8" = 1 ft. scale. All elevations should show dimensions with:
 - i. %-age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by Blue Star Allen Land, LP.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully

complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 SITE PLAN SUBMITTALS

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type D Lots - Each single story dwelling constructed on a Type D lot shall contain a minimum of 3000 square feet of floor space; two story dwellings shall contain

minimum of 3500 square feet of floor space. There are no limitations on maximum square footage on Phase II Type D lots.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204 FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

**** *The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.**

205 BRICK REPEAT RESTRICTIONS

All lots on the same side of a village street, will allow a minimum of a two lot separation on brick, a brick base color, brick shade and brick appearance from the front of the home. Brick repeats will be evaluated based on COLOR of brick, not simply manufacturer, name and shade. Any remote suggestion of similarity will be cause for denial of the submittal.

Repeats require at least a two lot separation. Specifically there must be at least two houses between similar bricks/brick shades/painted brick, etc.)

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather

staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring “painted brick” and stucco will also require a minimum two (2) lot separation. No painted brick of any color will be built on lots directly across the street from one another but instead adhere to the same repeat standards as stated above.

206 PLATE HEIGHT

Each Type C and Type D home shall have a minimum principal plate height of 10' on the first floor.

207 LANDSCAPE REOUIREMENTS

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6") or more in diameter at a point four feet (4') above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

208 IRRIGATION

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

209 LANDSCAPE LIGHTING

While not a requirement for any home built in StarTrail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

210 REOUIRED LANDSCAPE MATERIAL

LAWNS, FRONT, REAR AND SIDE

Yards (including front, side and rear) shall be completely sodded.

REQUIRED TREE PLANTINGS

All Phase II Type D lots within Star Trail must have a minimum of two (2) large trees in the front yard (species of tree from the following list.) Each large tree must be a minimum 4 caliper inches as measured at 12 inches above grade.

All Phase II Type D lots must have a minimum 2 large trees in the rear yard.

All lots, Type A, B, C and D located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to affect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify a minimum of the following for each zoning classification:

Type D Lots, typical 11,610 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

The following criteria should be considered when selecting plants for use within Star Trail:

2. Native species and evergreens;
3. Relatively resistant to insects and diseases;
4. Cold hardy material
5. Adaptability to existing soil conditions; and
6. Long life expectancy.

211

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Red Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak
10. Sycamore

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed
7. Dogwood
8. Texas Persimmon
9. Tree-Form Holly, e.g. Nellie R. Stevens Holly, Foster Holly
10. Desert Willow
11. Hawthorne
12. Ornamental Pear
13. Possumhaw Holly
14. Vitex

SHRUBS

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. Dwarf Glossy Abelia/Glossy Abelia 2. Juniper 3. Barberry 4. Texas Sage (Cenizia) 5. Dwarf Yaupon Holly 6. Dwarf Burford Holly/Burford Holly 7. Indian Hawthorne 8. Cleyera 9. Nellie R. Stevens Holly 10. Sweet Viburnum 11. Willowleaf Holly | <ol style="list-style-type: none"> 12. Dwarf Chinese Holly 13. Purpleleaf Japanese Barberry 14. Nandina 15. Encore Azalea |
|--|---|

STRUCTURES

212 ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in StarTrail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

213 EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (no siding of any kind will be allowed).

Acceptable finishes are the following:

- A. Brick; brick may be painted with the approval of the NCC as to color.
- B. Stone
- C. Cementitious lap siding (no more than 30% on any individual elevation in Type A and Type B lots; 20% max on Type C and Type D lots) 100% masonry on all front elevations. **NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement except in recessed and/or cantilevered features. Examples are porches, dormers, etc.**
- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

214 BALCONY PLACEMENT

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

215 WINDOWS

All window framing will be bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

216 EXTERIOR WALL COLORS

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

217 GARAGES AND DRIVEWAY MATERIALS

All StarCreek homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front facade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be "carriage style door" designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

218 DRIVEWAYS

All Phase II Type D Star Trail lots will feature driveways constructed of 60MM Belgard Brick Pavers installed in a Herringbone pattern. Color of paver is Fossil Beige.

219 DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

220 AWNINGS

Awnings are prohibited in Star Trail.

221 DETACHED STRUCTURES

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

222 FENCING

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Lots Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative wrought iron fence, minimum 4 foot in height, abutting said public area. (PD-66 as Amended May, 2017)

Builders will work to ensure a constant fence height is maintained. In the event a fence height must vary, it will always be "evenly stepped" in panels vs. a slope in the overall fence.

Developer/Builder Installed Corner Lots

All builder installed fencing on lots not specifically requiring decorative iron will be board on board.

All residential lots located on a corner adjacent to a street require either decorative iron or board-on-board fencing along the sideyard adjoining the street. Masonry columns, placed at 21 feet OC, are required along all corner lot sideyards. A detail of the required masonry column is attached.

All fencing returns to the house will be board on board or decorative iron consistent with the sideyard fencing material required.

Lots Adjacent to HOA-owned areas

Masonry will only be allowed on lots adjacent to or abutting HOA-owned common area.

Builder Installed Cedar Fencing

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. All cedar fencing will be typical Board-on-Board, per the attached exhibit.

In deciding how to "face" the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, m. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use "Ready Seal, Medium Brown, Color number OS-015B."

FENCING RETURNS:

All lots requiring wooden fencing (both board to board AND board on board) require a board-on-board return to the house.

All lots requiring wrought iron fencing require a wrought iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:

The fencing setback for all Type D StarTrail lots is as follows:

*Type D/86' lot zoning - no fencing shall extend beyond a point fifteen feet(15') behind the front wall plane of the main structure into the front yard.

223 AIR CONDITIONERS

No window or wall air conditioning units will be permitted on any building in StarTrail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

224 FIREPLACES AND CHIMNEYS

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

225 SWIMMING POOLS ALL OUTDOOR STRUCTURES

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

226 MAILBOXES

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. The mailboxes will be purchased and installed by the Developer and rebilled to the builders. Key distribution will be handled by the respective on-site builder sales representative after the home is closed to the homeowner.

A map showing all Phase II CPU locations and size is attached.

Villages of Star Trail New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in StarTrail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/ approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of StarTrail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: _____ Phase: _____ Lot/Block: _____ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Options: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR

SELECTIONS SIDING:

Wood: _____ Manufacturer & Stain/Paint Color: _____

Cementitious: _____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in StarTrail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

NCC Submittal Application

Page Two

MASONRY:

Stone: _____ Color: _____

Stucco: _____ Color: _____

Brick: _____ Manufacturer/Color: _____

ROOFING:

Composition: _____ Manufacturer/Color: _____

Tile: _____ Manufacturer/Color: _____

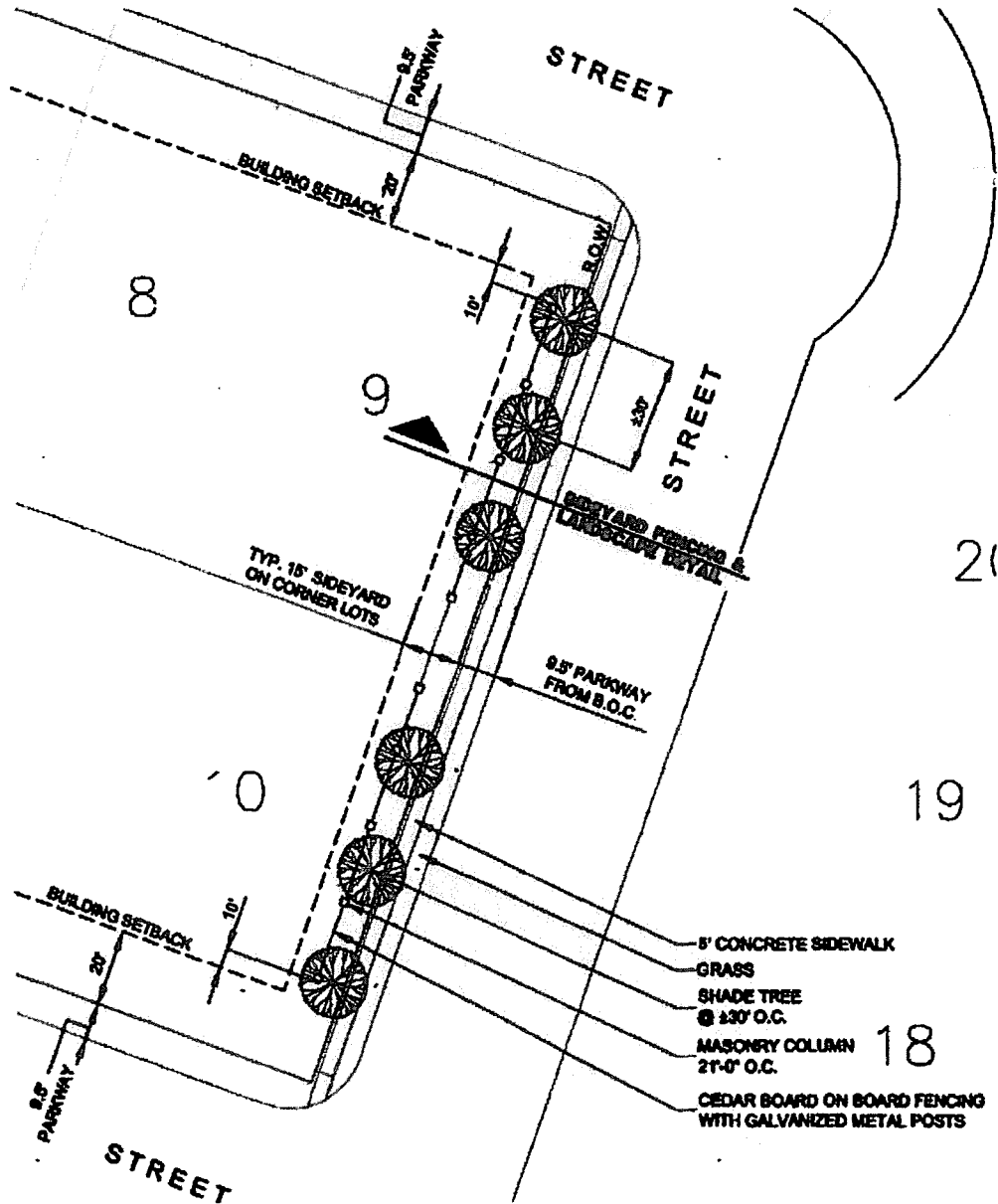
GARAGE DOOR PAINT/STAIN: Manufacturer/color: _____

General Comments: _____

APPROVAL/DENIAL AND REQUIRED REVISIONS FOR RESUBMITTAL:

REVIEWED ON: _____ BY: _____

EXHIBIT "C"
STREETScape PLAN.

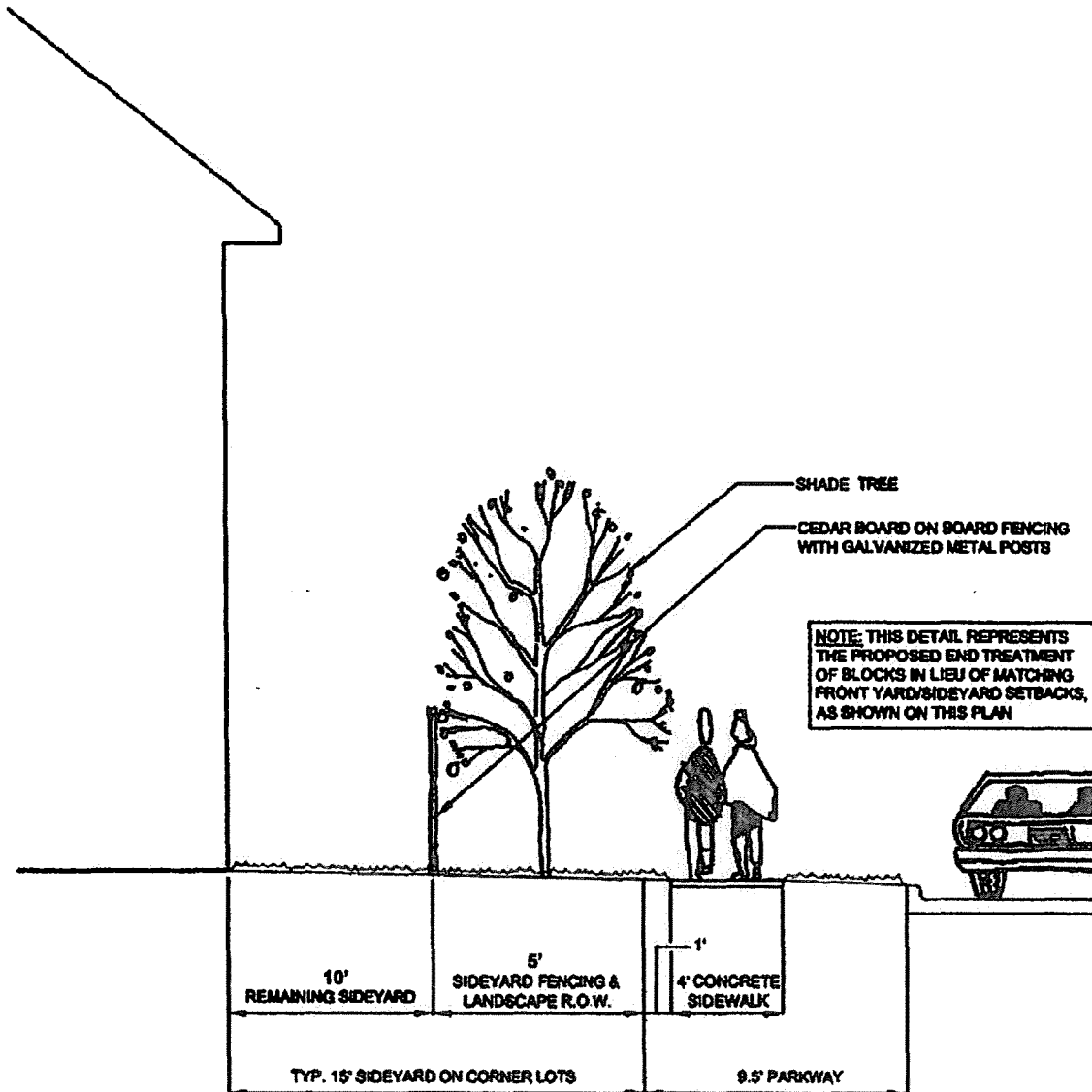


SIDEYARD FENCING & LANDSCAPE PLAN

PLAN

SCALE, N.T.S.

EXHIBIT "D"
STREETSCAPE PLAN

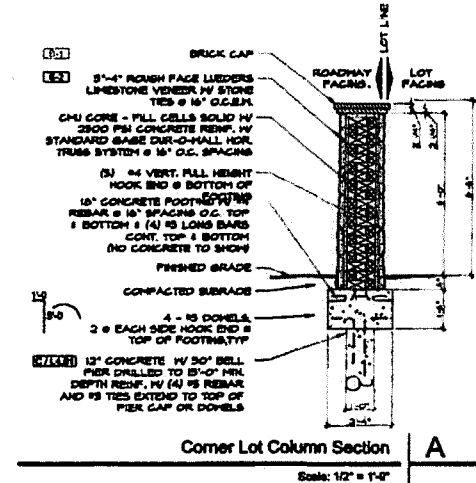
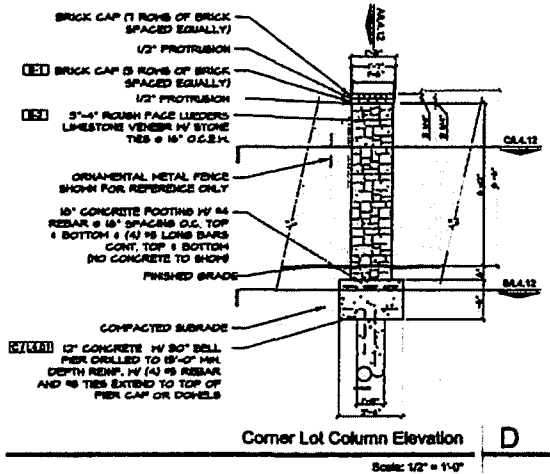
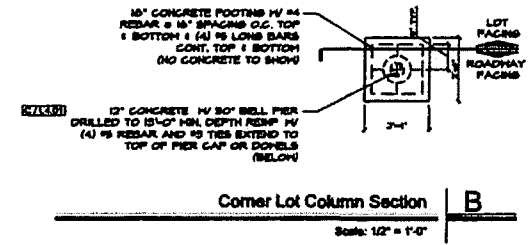
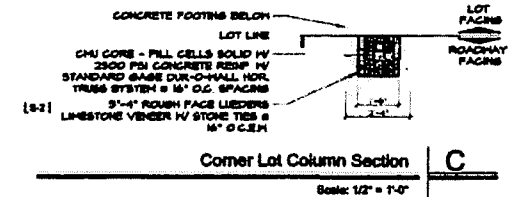


SIDEYARD FENCING & LANDSCAPE

DETAIL SECTION/ELEVATION SCALE, N.T.S.

Brick for Columns is Acme Richland Meadows

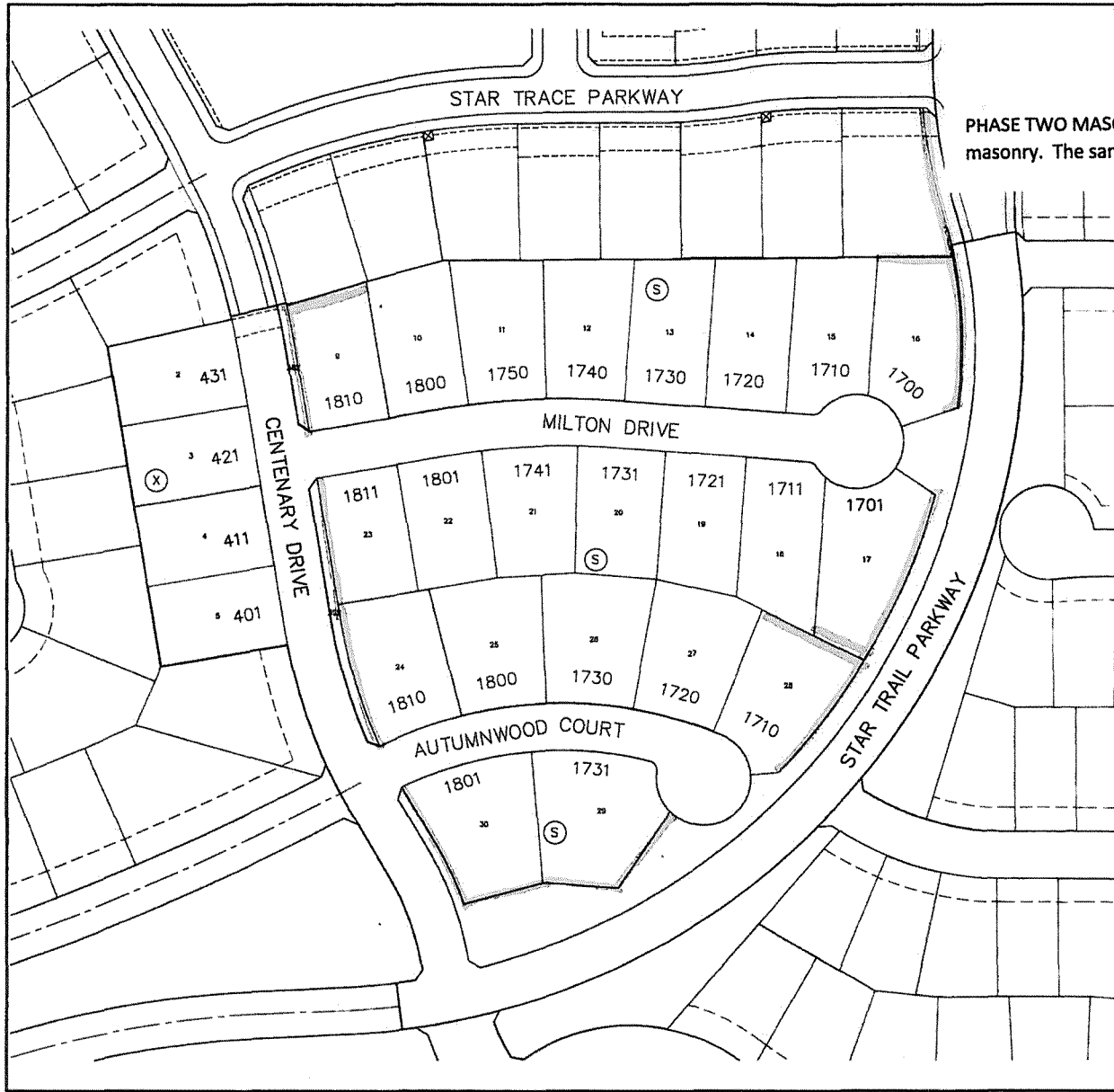
Stone is Leuders Limestone



CORNER LOT COLUMN AS BUILT DETAIL STAR TRAIL

JAN 14, 2017

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PHASE TWO MASONRY REQUIREMENTS - Highlighted elevations require 100% masonry. The same is required of all front elevations.




PHASE ONE A DENSITY
 26 RESIDENTIAL LOTS
 3 COMMON AREA LOTS
 12.541 ACRES
 AVERAGE LOT SIZE = 12,800 SF

26 TYPE "D" LOTS OF 11,610 SF MIN.
 PD-68; SINGLE FAMILY-ZONING ORDINANCE #14-31
 TOWN OF PROSPER CASE # D18-0080

ADDRESS PLAN
STAR TRAIL PHASE TWO
 AN ADDITION TO THE TOWN OF PROSPER
 PART OF 518.123 ACRE TRACT OF LAND OUT OF THE
 COLLIN CO. SCHOOL LAND NO. 12 SURVEY
 ABSTRACT NO. 147
 IN THE
 TOWN OF PROSPER
 COLLIN COUNTY, TEXAS
 FEBRUARY 2017 SCALE: 1"=50'

OWNER/DEVELOPER
 BLUE STAR ALLEN LAND, LP.
 8000 WARREN PARKWAY
 BUILDING 1, SUITE 100
 PRISCO, TEXAS 75034
 FAX: 214-387-7781
 CONTACT: SCOTT SHIPP
 PH: 972-543-2412

 **DOWDEY, ANDERSON & ASSOCIATES, INC.**
 5125 Village Creek Drive, Suite 200 Plano, Texas 75093 972.931.0634
 STATE REGISTRATION NUMBER: P-200
 SURVEY FIRM REGISTRATION NUMBER: 16077800

STAR TRAIL PHASE TWO FINAL
CLUSTER MAILBOX ASSIGNMENTS

11610 SF Min.	Per Zoning						
LOT	BLOCK	AREA (SF)	LOT TYPE	ADDRESS	BUILDER		
9	S	13,731	D	1810 Milton Drive	HIGHLAND HOMES	B	14
10	S	13,331	D	1800 Milton Drive	HIGHLAND HOMES	B	12
11	S	13,684	D	1750 Milton Drive	MHI/COVENTRY HOMES	B	11
12	S	13,465	D	1740 Milton Drive	MHI/COVENTRY HOMES	B	9
13	S	13,345	D	1730 Milton Drive	HIGHLAND HOMES	B	7
14	S	13,933	D	1720 Milton Drive	HIGHLAND HOMES	B	5
15	S	13,490	D	1710 Milton Drive	MHI/COVENTRY HOMES	B	3
16	S	15,228	D	1700 Milton Drive	MHI/COVENTRY HOMES	B	1
17	S	16,859	D	1701 Milton Drive	HIGHLAND HOMES	B	2
18	S	14,210	D	1711 Milton Drive	HIGHLAND HOMES	B	4
19	S	12,268	D	1721 Milton Drive	MHI/COVENTRY HOMES	B	6
20	S	12,280	D	1731 Milton Drive	MHI/COVENTRY HOMES	B	8
21	S	12,585	D	1741 Milton Drive	HIGHLAND HOMES	B	10
22	S	11,975	D	1801 Milton Drive	MHI/COVENTRY HOMES	B	13
23	S	13,046	D	1811 Milton Drive	MHI/COVENTRY HOMES	B	15
24	S	15,928	D	1810 Autumnwood Court	HIGHLAND HOMES	A	7
25	S	14,391	D	1800 Autumnwood Court	HIGHLAND HOMES	A	5
26	S	14,781	D	1730 Autumnwood Court	HIGHLAND HOMES	A	3
27	S	14,457	D	1720 Autumnwood Court	MHI/COVENTRY HOMES	A	2
28	S	15,263	D	1710 Autumnwood Court	MHI/COVENTRY HOMES	A	1
29	S	21,633	D	1731 Autumnwood Court	HIGHLAND HOMES	A	4
30	S	21,787	D	1801 Autumnwood Court	MHI/COVENTRY HOMES	A	6
2	X	12,147	D	431 Centenary Drive	MHI/COVENTRY HOMES	A	12
3	X	11,696	D	421 Centenary Drive	MHI/COVENTRY HOMES	A	11
4	X	11,696	D	411 Centenary Drive	HIGHLAND HOMES	A	10
5	X	11,697	D	401 Centenary Drive	HIGHLAND HOMES	A	9

CBU TYPE III

A

Physical Address - 1810 AUTUMNWOOD CT
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed <input type="checkbox"/>
Owned By Postal Service - Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

1 1710 AUTUMNWOOD CT	9 401 CENTENARY DR
2 1720 AUTUMNWOOD CT	10 411 CENTENARY DR
3 1730 AUTUMNWOOD CT	11 421 CENTENARY DR
4 1731 AUTUMNWOOD CT	12 431 CENTENARY DR
5 1800 AUTUMNWOOD CT	COLLECTION SLOT
6 1801 AUTUMNWOOD CT	13 *Future Phase Address*
7 1810 AUTUMNWOOD CT	14 Vacant
8 *Future Phase Address*	15 Vacant
PARCEL LOCKER	16 Vacant
	PARCEL LOCKER

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE III

B

Physical Address - 1811 MILTON DR
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed <input type="checkbox"/>
Owned By Postal Service - Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

1 1700 MILTON DR	9 1740 MILTON DR
2 1701 MILTON DR	10 1741 MILTON DR
3 1710 MILTON DR	11 1750 MILTON DR
4 1711 MILTON DR	12 1800 MILTON DR
5 1720 MILTON DR	COLLECTION SLOT
6 1721 MILTON DR	13 1801 MILTON DR
7 1730 MILTON DR	14 1810 MILTON DR
8 1731 MILTON DR	15 1811 MILTON DR
	16 Vacant
PARCEL LOCKER	PARCEL LOCKER

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

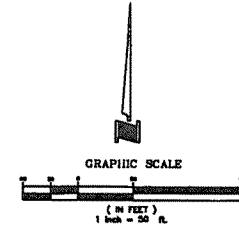
Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

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DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0094
 STATE REGISTRATION NUMBER: F-999
 SURVEY FROM REGISTRATION NUMBER: 5007980

The Villages of Star Trail Design Guidelines
PHASE 3 - TYPE A LOTS
JANUARY 2020

1 TITLE AND SCOPE

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as "Guidelines" for Star Trail.

101 PURPOSE

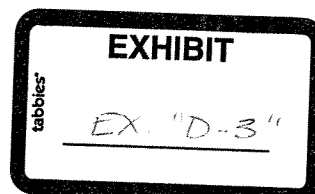
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the "Declaration") of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgment and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to ensure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner's individual taste in design, colors and materials.



200 PROCESS FOR CONSTRUCTIONSUBMITTAL OF MASTER PLAN SET

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of StarTrail NCC and Blue Star Allen Land, LP.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at 1/8" scale;
 - b. Front elevations with finish notations at 1/8" = 1 ft. scale; remaining elevations with finish notations at 1/8" = 1 ft. scale. All elevations should show dimensions with:
 - i. %age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by Blue Star Allen Land, LP.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully

complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 SITE PLAN SUBMITTALS

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION

Type A Lots - Each single story dwelling constructed on a Type A lot shall contain a minimum of 1800 square feet of floor space, maximum of 3600 square feet; two story dwellings shall contain a minimum of 2000 square feet of floor space, maximum of 3900 square feet.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204

FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

** *The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.

205

BRICK REPEAT RESTRICTIONS

All lots on the same side of a village street, will require a minimum of a two lot separation on brick, a brick base color, brick shade and brick appearance from the front of the home. Brick repeats will be evaluated based on COLOR of brick, not simply manufacturer, name and shade. Any remote suggestion of similarity can be cause for denial of the submittal.

Repeats require at least a two lot separation. Specifically there must be at least two houses between similar bricks/brick shades/painted brick, etc.)

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring “painted brick” and stucco will also require a minimum two (2) lot separation. No painted brick of any color will be built on lots directly across the street from one another but instead adhere to the same repeat standards as stated above.

206 PLATE HEIGHT

Each Type A home shall have a minimum principal plate height of 9' on the first floor.

207 LANDSCAPE REOUIREMENTS

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6") or more in diameter at a point four feet (4') above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

208 IRRIGATION

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

209 LANDSCAPE LIGHTING

While not a requirement for any home built in StarTrail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

210 REOUIRED LANDSCAPE MATERIAL

LAWNS, FRONT, REAR AND SIDE

Yards (including front, side and rear) must be completely sodded.

REQUIRED TREE PLANTINGS

All Phase III Type A lots within StarTrail must have a minimum of one (1) large tree in the front yard. Each large tree must be a minimum of 4 caliper inches as measured at 12 inches above grade.

All Phase III Type A lots must have a minimum I large tree in the rear yard.

All lots, Type A, B, C and D located on a street corner adjacent to a street, must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify the following minimum requirement:

Type A Lots, typical 6,875 sq. feet Minimum 12, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

The following criteria should be considered when selecting plants for use within Star Trail:

2. Native species and evergreens;
3. Relatively resistant to insects and diseases;
4. Cold hardy material
5. Adaptability to existing soil conditions; and
6. Long life expectancy.

211

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Red Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak
10. Sycamore

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed
7. Dogwood
8. Texas Persimmon
9. Tree-Form Holly, e.g. Nellie R. Stevens Holly, Foster Holly
10. Desert Willow
11. Hawthorne
12. Ornamental Pear
13. Possumhaw Holly
14. Vitex

SHRUBS

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. Dwarf Glossy Abelia/Glossy Abelia 2. Juniper 3. Barberry 4. Texas Sage (Cenizia) 5. Dwarf Yaupon Holly 6. Dwarf Burford Holly/Burford Holly 7. Indian Hawthorne 8. Cleyera 9. Nellie R. Stevens Holly 10. Sweet Viburnum 11. Willowleaf Holly | <ol style="list-style-type: none"> 12. Dwarf Chinese Holly 13. Purpleleaf Japanese Barberry 14. Nandina 15. Encore Azalea |
|--|---|

STRUCTURES

212 ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in Star Trail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

213 EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (no siding of any kind will be allowed).

Acceptable finishes are the following:

- A. Brick; brick may be painted with the approval of the NCC as to color.
- B. Stone
- C. Cementitious lap siding (no more than 30% on any individual elevation in Type A and Type B lots; 20% max on Type C and Type D lots) 100% masonry on all front elevations. NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement except in recessed and/or cantilevered features. Examples are porches, dormers, etc.
- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

214 BALCONY PLACEMENT

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

215 WINDOWS

All window framing will be bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

216 EXTERIOR WALL COLORS

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

217 GARAGES AND DRIVEWAY MATERIALS

All StarCreek homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front facade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be "carriage style door" designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

218 DRIVEWAYS

All Star Trail lots in Phase III will have a salt finish natural concrete.

219 DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

220 AWNINGS

Awnings are prohibited in Star Trail.

221 DETACHED STRUCTURES

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

222 FENCING

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Lots Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative wrought iron fence, minimum 4 foot in height, abutting said public area. (PD-66 as Amended May, 2017)

Builders will work to ensure a constant fence height is maintained. In the event a fence height must vary, it will always be "evenly stepped" in panels vs. a slope in the overall fence.

Developer/Builder Installed Corner Lots

All builder installed fencing on lots not specifically requiring decorative iron will be board on board.

All residential lots located on a corner adjacent to a street require either decorative iron or board-on-board fencing along the sideyard adjoining the street. Masonry columns, placed at 21 feet OC, are required along all corner lot sideyards. A detail of the required masonry column is attached.

All fencing returns to the house will be board on board or decorative iron consistent with the sideyard fencing material required.

Lots Adjacent to HOA-owned areas

Masonry fencing will only be allowed on lots adjacent to or abutting HOA-owned common area.

Builder Installed Cedar Fencing

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. All cedar fencing will be typical Board-on-Board, per the attached exhibit.

In deciding how to "face" the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, m. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use "Ready Seal, Medium Brown, Color number OS-015B."

FENCING RETURNS:

All lots requiring wooden fencing require a wooden board-on-board return to the house.

All lots requiring wrought iron fencing require a wrought iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:

The fencing setbacks for all Phase 3 Type A lots in StarTrail are as follows:

*Type A/55' lot zoning no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the primary structure into the front yard.

223 **AIR CONDITIONERS**

No window or wall air conditioning units will be permitted on any building in StarTrail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

224 **FIREPLACES AND CHIMNEYS**

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

225 **SWIMMING POOLS ALL OUTDOOR STRUCTURES**

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

226 **MAILBOXES**

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. The mailboxes will be purchased and installed by the Developer and rebilled to the builders. Key distribution will be handled by the respective on-site builder sales representative after the home is closed to the homeowner.

A map showing all CPU locations and size is attached.

Villages of Star Trail New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in StarTrail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/ approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of StarTrail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: _____ Phase: _____ Lot/Block: _____ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Options: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR

SELECTIONS SIDING:

Wood: _____ Manufacturer & Stain/Paint Color: _____

Cementitious: _____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in StarTrail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

NCC Submittal Application
Page Two

MASONRY:

Stone: _____ Color: _____

Stucco: _____ Color: _____

Brick: _____ Manufacturer/Color: _____

ROOFING:

Composition: _____ Manufacturer/Color: _____

Tile: _____ Manufacturer/Color: _____

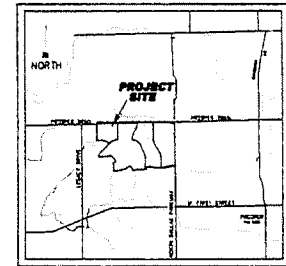
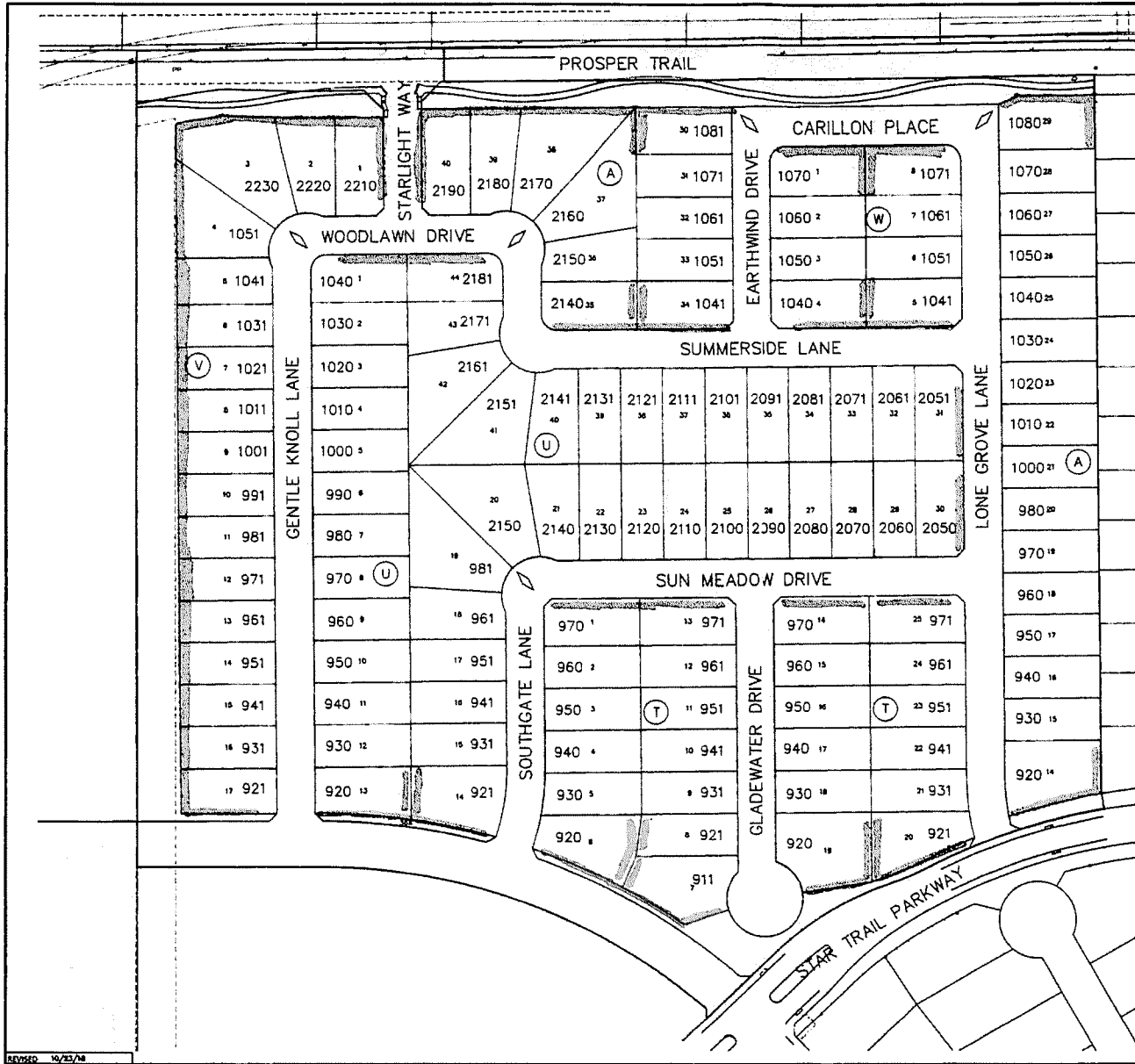
GARAGE DOOR PAINT/STAIN: Manufacturer/color: _____

General Comments: _____

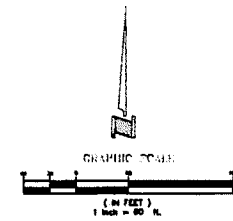
APPROVAL/DENIAL AND REQUIRED REVISIONS FOR RESUBMITTAL:

REVIEWED ON: _____ BY: _____

P:\GIS\170613\GIS\ADDRESS PLAN.dwg Address: 10/27/2018 11:38 AM User: J. Dowdey, Anderson & Associates, Inc.



LOCATION MAP
NOT TO SCALE



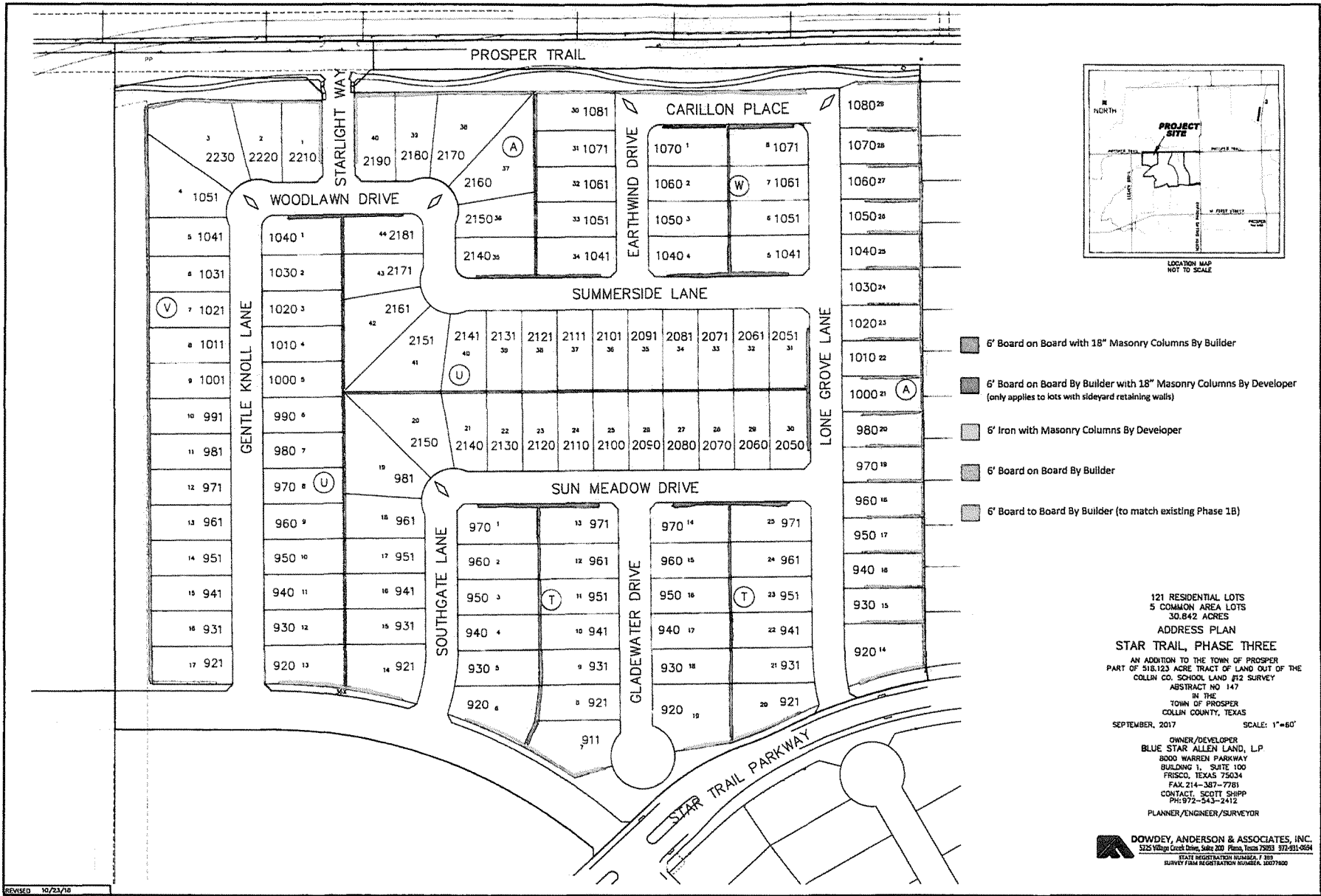
STAR TRAIL PHASE III MASONRY REQUIREMENTS
Elevations noted require 100% masonry

121 RESIDENTIAL LOTS
 5 COMMON AREA LOTS
 30.842 ACRES
ADDRESS PLAN
STAR TRAIL, PHASE THREE
 AN ADDITION TO THE TOWN OF PROSPER
 PART OF 518.125 ACRE TRACT OF LAND OUT OF THE
 COLLIN CO. SCHOOL LAND #12 SURVEY
 ABSTRACT NO. 147
 IN THE
 TOWN OF PROSPER
 COLLIN COUNTY, TEXAS
 SEPTEMBER, 2017 SCALE 1"=80'
 OWNER/DEVELOPER
 BLUE STAR ALLEN LAND, L.P.
 2000 WARREN PARKWAY
 BUILDING 1, SUITE 100
 FRISCO, TEXAS 75034
 FAX: 214-387-7781
 CONTACT: SCOTT SHIPP
 PH: 972-543-2412
 PLANNER/ENGINEER/SURVEYOR

DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 208, Plano, Texas 75093 972-431-0894
 STATE REGISTRATION NUMBER: 7 209
 SURVEY FIRM REGISTRATION NUMBER: 2007900

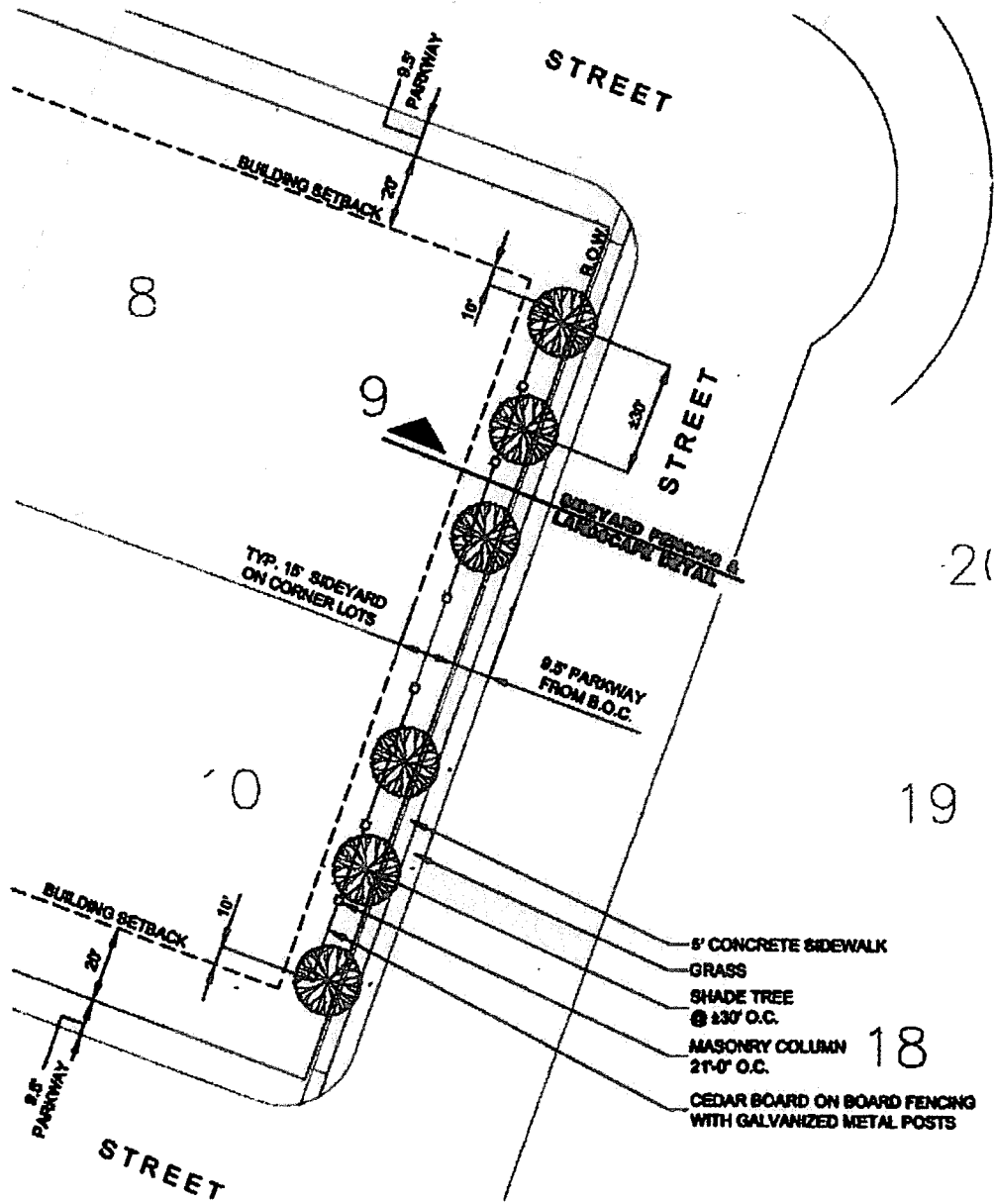
REVISED 10/23/18

18101171468.DWG: ADDRESS PLAN.dwg, 09/29/2018 8:27:38 AM, plotstyle: dwg.ctb, Author: Anderson & Associates, Inc. DWG



REVISED 10/23/19

EXHIBIT "C" STREETSCAPE PLAN



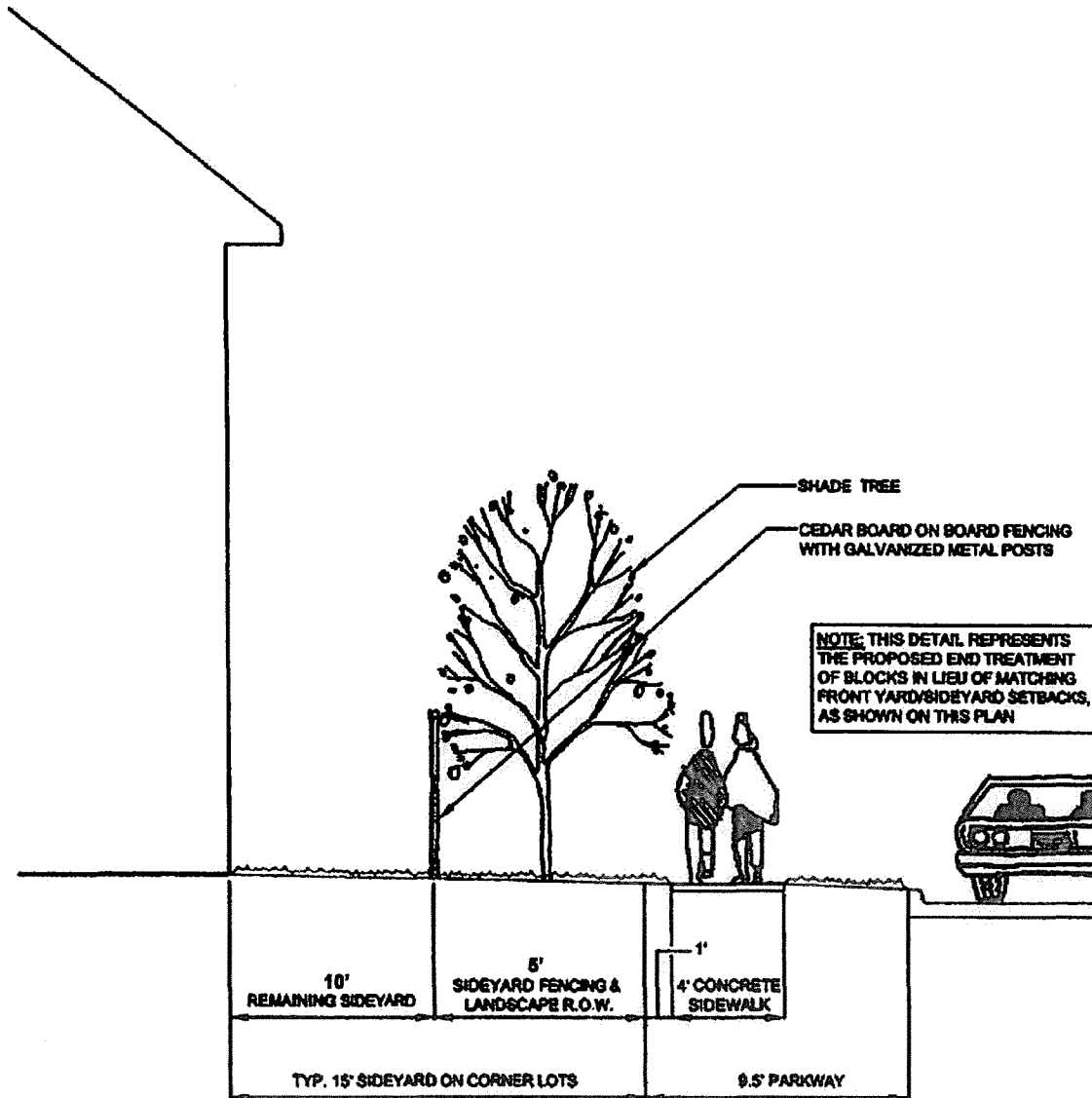
- 5' CONCRETE SIDEWALK
- GRASS
- SHADE TREE @ 23' O.C.
- MASONRY COLUMN 21'-0" O.C.
- CEDAR BOARD ON BOARD FENCING WITH GALVANIZED METAL POSTS

SIDEYARD FENCING & LANDSCAPE PLAN

PLAN

SCALE, N.T.S.

EXHIBIT "D"
STREETSCAPE PLAN



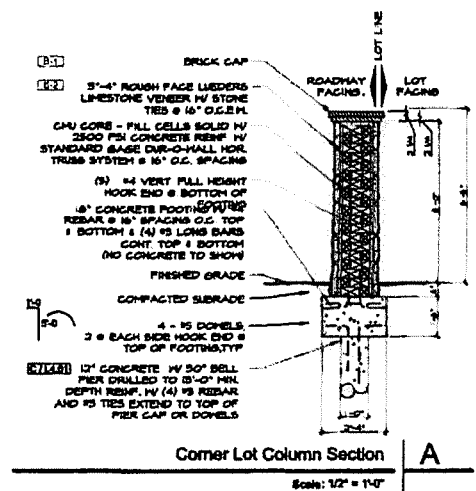
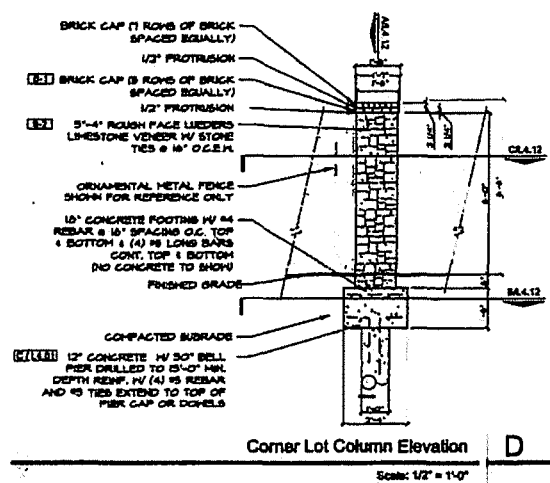
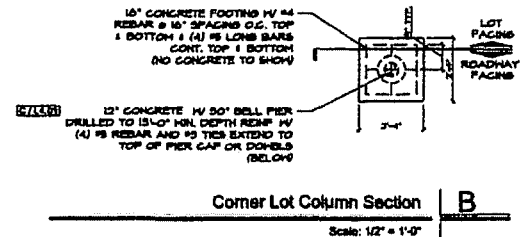
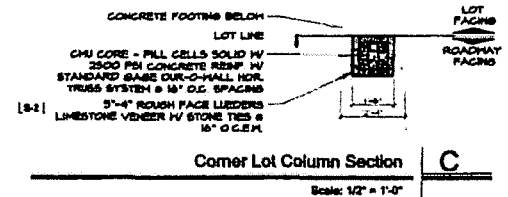
SIDEYARD FENCING & LANDSCAPE DETAIL

SECTION/ELEVATION

SCALE, N.T.S.

Brick for Columns is Acme Richland Meadows

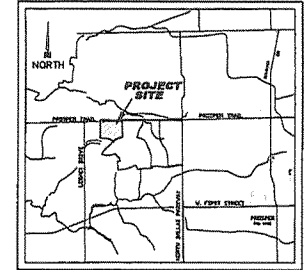
Stone is Leuders Limestone



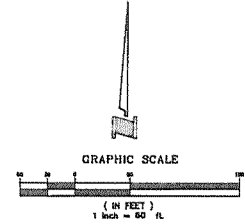
CORNER LOT COLUMN AS BUILT DETAIL
STAR TRAIL

APR 14, 2017

111201010100 ADDRESS PLANS Address: 10220111 01 23 AM Monday Quality Addressed Associates, Inc. 2/1



LOCATION MAP NOT TO SCALE



121 RESIDENTIAL LOTS
5 COMMON AREA LOTS
30.842 ACRES
ADDRESS PLAN
STAR TRAIL, PHASE THREE

AN ADDITION TO THE TOWN OF PROSPER
PART OF 518.123 ACRE TRACT OF LAND OUT OF THE
COLLIN CO. SCHOOL LAND #12 SURVEY
ABSTRACT NO. 147
IN THE
TOWN OF PROSPER
COLLIN COUNTY, TEXAS
SEPTEMBER, 2017 SCALE: 1"=60'

OWNER/DEVELOPER
BLUE STAR ALLEN LAND, L.P.
8000 WARREN PARKWAY
BUILDING 1, SUITE 100
FRISCO, TEXAS 75034
FAX: 214-387-7781
CONTACT: SCOTT SHIPP
PH: 972-543-2412
PLANNER/ENGINEER/SURVEYOR

DOWDEY, ANDERSON & ASSOCIATES, INC.
525 Village Creek Drive, Suite 200 Plano, Texas 75083 972-931-0524
STATE REGISTRATION NUMBER: F-299
SURVEY FIRM REGISTRATION NUMBER: 1007700

REVISED: 10/23/20

CBU TYPE III

A

Physical Address - 920 GENTLE KNOLL LN
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 920 GENTLE KNOLL LN	9 960 GENTLE KNOLL LN
2 921 GENTLE KNOLL LN	10 961 GENTLE KNOLL LN
3 930 GENTLE KNOLL LN	11 970 GENTLE KNOLL LN
4 931 GENTLE KNOLL LN	12 971 GENTLE KNOLL LN
5 940 GENTLE KNOLL LN	COLLECTION SLOT
6 941 GENTLE KNOLL LN	13 980 GENTLE KNOLL LN
7 950 GENTLE KNOLL LN	14 981 GENTLE KNOLL LN
8 951 GENTLE KNOLL LN	15 990 GENTLE KNOLL LN
PARCEL LOCKER	16 991 GENTLE KNOLL LN
PARCEL LOCKER	PARCEL LOCKER

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE II

B

Physical Address - 1040 Gentle Knoll Ln
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 1000 Gentle Knoll Ln	9 1040 Gentle Knoll Ln
2 1001 Gentle Knoll Ln	10 1041 Gentle Knoll Ln
3 1010 Gentle Knoll Ln	11 1051 Gentle Knoll Ln
4 1011 Gentle Knoll Ln	12 vacant
5 1020 Gentle Knoll Ln	Collection Slot
6 1021 Gentle Knoll Ln	Parcel Locker
7 1030 Gentle Knoll Ln	
8 1031 Gentle Knoll Ln	

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE I

C

Physical Address - 2181 Summerside Ln
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed <input type="checkbox"/>
Owned By Postal Service - Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

1 2150 Summerside Ln	5 2190 Woodlawn Dr
2 2160 Summerside Ln	6 2210 Woodlawn Dr
3 2170 Woodlawn Dr	7 2220 Woodlawn Dr
4 2180 Woodlawn Dr	8 2230 Woodlawn Dr
PARCEL LOCKER	PARCEL LOCKER

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE III

D

Physical Address - 1041 Earthwind Dr
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed <input type="checkbox"/>
Owned By Postal Service - Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

1 2051 Summerside Ln	9 2131 Summerside Ln
2 2061 Summerside Ln	10 2140 Summerside Ln
3 2071 Summerside Ln	11 2141 Summerside Ln
4 2081 Summerside Ln	12 2151 Summerside Ln
5 2091 Summerside Ln	COLLECTION SLOT
6 2101 Summerside Ln	13 2161 Summerside Ln
7 2111 Summerside Ln	14 2171 Summerside Ln
8 2121 Summerside Ln	15 2181 Summerside Ln
	16 vacant
PARCEL LOCKER	PARCEL LOCKER

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE II

E

Physical Address - 2140 Summerside Ln
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 1040 Earthwind Dr	9 1081 Earthwind Dr
2 1041 Earthwind Dr	10 vacant
3 1050 Earthwind Dr	11 vacant
4 1051 Earthwind Dr	12 vacant
5 1060 Earthwind Dr	Collection Slot
6 1061 Earthwind Dr	Parcel Locker
7 1070 Earthwind Dr	
8 1071 Earthwind Dr	

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE II

F

Physical Address - 2051 Summerside Ln
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 920 Lone Grove Ln	9 960 Lone Grove Ln
2 921 Lone Grove Ln	10 961 Lone Grove Ln
3 930 Lone Grove Ln	11 971 Lone Grove Ln
4 931 Lone Grove Ln	12 vacant
5 940 Lone Grove Ln	Collection Slot
6 941 Lone Grove Ln	Parcel Locker
7 950 Lone Grove Ln	
8 951 Lone Grove Ln	

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE III

G

Physical Address - 2050 Sun Meadow Dr
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 970 Lone Grove Ln	9 1050 Lone Grove Ln
2 980 Lone Grove Ln	10 1051 Lone Grove Ln
3 1000 Lone Grove Ln	11 1060 Lone Grove Ln
4 1010 Lone Grove Ln	12 1061 Lone Grove Ln
5 1020 Lone Grove Ln	COLLECTION SLOT
6 1030 Lone Grove Ln	13 1070 Lone Grove Ln
7 1040 Lone Grove Ln	14 1071 Lone Grove Ln
8 1041 Lone Grove Ln	15 1080 Lone Grove Ln
PARCEL LOCKER	16 vacant
PARCEL LOCKER	PARCEL LOCKER

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE II

H

Physical Address - 970 Gladewater Dr
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 920 Southgate Ln	9 960 Southgate Ln
2 921 Southgate Ln	10 961 Southgate Ln
3 930 Southgate Ln	11 970 Southgate Ln
4 931 Southgate Ln	12 981 Southgate Ln
5 940 Southgate Ln	Collection Slot
6 941 Southgate Ln	Parcel Locker
7 950 Southgate Ln	
8 951 Southgate Ln	

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE II

I

Physical Address - 970 GLADEWATER DR
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 911 Gladewater Dr	9 951 Gladewater Dr
2 920 Gladewater Dr	10 960 Gladewater Dr
3 921 Gladewater Dr	11 961 Gladewater Dr
4 930 Gladewater Dr	12 970 Gladewater Dr
5 931 Gladewater Dr	Collection Slot
6 940 Gladewater Dr	Parcel Locker
7 941 Gladewater Dr	
8 950 Gladewater Dr	

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

CBU TYPE II

J

Physical Address - 971 Lone Grove Ln
Physical Location - end of block on side yard
CBU Manufacture - FLORENCE
Box Condition - Good <input checked="" type="checkbox"/> Maintenance Needed _____
Owned By Postal Service - Yes _____ No <input checked="" type="checkbox"/>

1 971 Gladewater Dr	9 2120 Sun Meadow Dr
2 2050 Sun Meadow Dr	10 2130 Sun Meadow Dr
3 2060 Sun Meadow Dr	11 2140 Sun Meadow Dr
4 2070 Sun Meadow Dr	12 2150 Sun Meadow Dr
5 2080 Sun Meadow Dr	Collection Slot
6 2090 Sun Meadow Dr	Parcel Locker
7 2100 Sun Meadow Dr	
8 2110 Sun Meadow Dr	

CARRIERS AND CUSTOMERS VIEW

Current Route Number _____

Post Office _____

Zip Code _____

Verified By (Print) _____

Supervisors Signature (Print) _____

The Villages of Star Trail Design Guidelines
Phase 4 Type B Lots
January, 2020

1 TITLE AND SCOPE

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as "Guidelines" for Star Trail.

101 PURPOSE

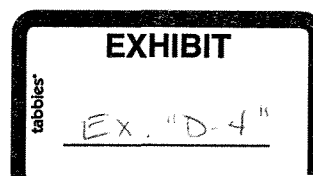
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the "Declaration") of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgement and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to ensure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner's individual taste in design, colors and materials.



200 PROCESS FOR CONSTRUCTIONSUBMITTAL OF MASTER PLAN SET

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of StarTrail NCC and Blue Star Allen Land, LP.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at 1/8" scale;
 - b. Front elevations with finish notations at 1/8" = 1 ft. scale; remaining elevations with finish notations at 1/8" = 1 ft. scale. All elevations should show dimensions with:
 - i. %-age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by Blue Star Allen Land, LP.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully

complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 SITE PLAN SUBMITTALS

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION

Type B Lots - Each single story dwelling constructed on a Type B lot shall contain a minimum of 2300 square feet of floor space, maximum of 4200 square feet; two story dwellings shall contain a minimum of 2650 square feet of floor space, maximum of 4400 square feet.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204 FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

** *The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.

205 BRICK REPEAT RESTRICTIONS

On all Star Trail lots on the same side of a village street, repeat of brick shall be limited to one in every three lots (ie. a minimum two (2) lot separation.

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring painted brick and stucco will adhere to the same repeat standards as stated above.

206 PLATE HEIGHT

Each Type B home shall have a minimum principal plate height of 9' on the first floor.

207 LANDSCAPE REOUIREMENTS

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6") or mofe in diameter at a point four feet (4') above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

208 IRRIGATION

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

209 LANDSCAPE LIGHTING

While not a requirement for any home built in StarTrail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

210 REOUED LANDSCAPE MATERIAL

LAWNS, FRONT, REAR AND SIDE

Yards (including front, side and rear) shall be completely sodded.

REQUIRED TREE PLANTINGS

All Phase 4, Type B lots within Star Trail must have a minimum of two (2) large trees in the front yard (species of tree from the following list.) Each large tree must be a minimum 4 caliper inches as measured at 12 inches above grade.

All Phase 4 lots, Type B lots must have a minimum I large tree in the rear yard.

All Phase 4 lots, Type A, B, C and D, located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify a minimum of the following for each zoning classification:

Type B Lots, typical 8,125 sq. feet - Minimum 15, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

The following criteria should be considered when selecting plants for use within Star Trail:

2. Native species and evergreens;
3. Relatively resistant to insects and diseases;
4. Cold hardy material
5. Adaptability to existing soil conditions; and
6. Long life expectancy.

211

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak

10. Sycamore

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed Dogwood
7. Texas Persimmon
8. Tree-Form Holly, e.g. Nellie R. Stevens Holly, Foster Holly

- | | |
|---------------------|---------------------|
| 9. Desert Willow | 12. Possumhaw Holly |
| 10. Hawthorne | 13. Vitex |
| 11. Ornamental Pear | |

SHRUBS

- | | |
|--------------------------------------|----------------------------------|
| 1. Dwarf Glossy Abelia/Glossy Abelia | 12. Dwarf Chinese Holly |
| 2. Juniper | 13. Purpleleaf Japanese Barberry |
| 3. Barberry | 14. Nandina |
| 4. Texas Sage (Cenizia) | 15. Encore Azalea(?) |
| 5. Dwarf Yaupon Holly | |
| 6. Dwarf Burford Holly/Burford Holly | |
| 7. Indian Hawthorne(?) | |
| 8. Cleyera | |
| 9. Nellie R. Stevens Holly | |
| 10. Sweet Viburnum | |
| 11. Willowleaf Holly | |

STRUCTURES

212 ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in Star Trail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

213 EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (no siding of any kind will be allowed).

Acceptable finishes are the following:

- A. Brick; brick may be painted with the approval of the NCC as to color.
- B. Stone
- C. Cementitious lap siding (no more than 30% on any individual elevation in Type B lots; 100% masonry on all front elevations. NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement except in recessed and/or cantilevered features. Examples are porches, dormers, etc.
- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

214 BALCONY PLACEMENT

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

215 WINDOWS

All window framing will be bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

216 EXTERIOR WALL COLORS

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

217 GARAGES AND DRIVEWAY MATERIALS

All StarCreek homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front facade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be "carriage style door" designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

218 DRIVEWAYS

All Star Trail Phase 4 Type B lots will feature driveways constructed of a salt finish natural concrete.

219 DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

220 AWNINGS

Awnings are prohibited in Star Trail.

221 DETACHED STRUCTURES

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

222 FENCING

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Lots Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative wrought iron fence, minimum 4 foot in height, abutting all parks and public areas. (PD-66 as Amended May, 2017)

At the point of transition, a 4X4 inch black iron post will anchor the two sections.

Builders will work to ensure a constant fence height is maintained. In the event a fence height must vary, it will always be "evenly stepped" in panels vs. a slope in the overall fence.

Developer/Builder Installed Corner Lots

All residential lots located on a corner adjacent to a street require either decorative iron or board-on-board fencing along the sideyard adjoining the street. Masonry columns, placed at 21 feet OC, are required along all corner lot sideyards. A detail of the required masonry column is attached.

All other fencing on a corner lot (ie. rear and lot-to-lot side) will be board-on-board provided said fencing is not abutting public park or hike/bike trail/public areas which require decorative iron.

Lots Adjacent to HOA-owned areas

Masonry will only be allowed on lots adjacent to or abutting HOA-owned common area.

Builder Installed Cedar Fencing

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. Unless specifically designated otherwise, all cedar fencing will be typical board-on-board per the attached exhibit.

In deciding how to "face" the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, m. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use "Ready Seal, Medium Brown, Color number OS-015B."

FENCING RETURNS:

All lots requiring wooden fencing (both board to board AND board on board) require a board-on-board return to the house.

All lots requiring wrought iron fencing require a wrought iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:.

The fencing setbacks for the four StarTrail lot classifications are as follows:

*Type B/65' lot zoning no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the main structure into the front yard.

223 **AIR CONDITIONERS**

No window or wall air conditioning units will be permitted on any building in StarTrail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

224 **FIREPLACES AND CHIMNEYS**

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

225 **SWIMMING POOLS ALL OUTDOOR STRUCTURES**

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

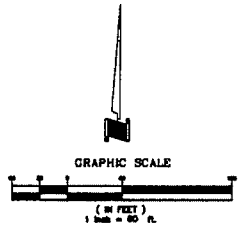
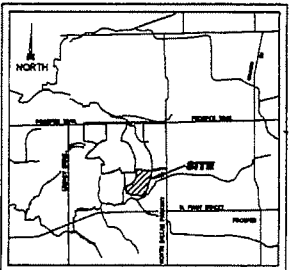
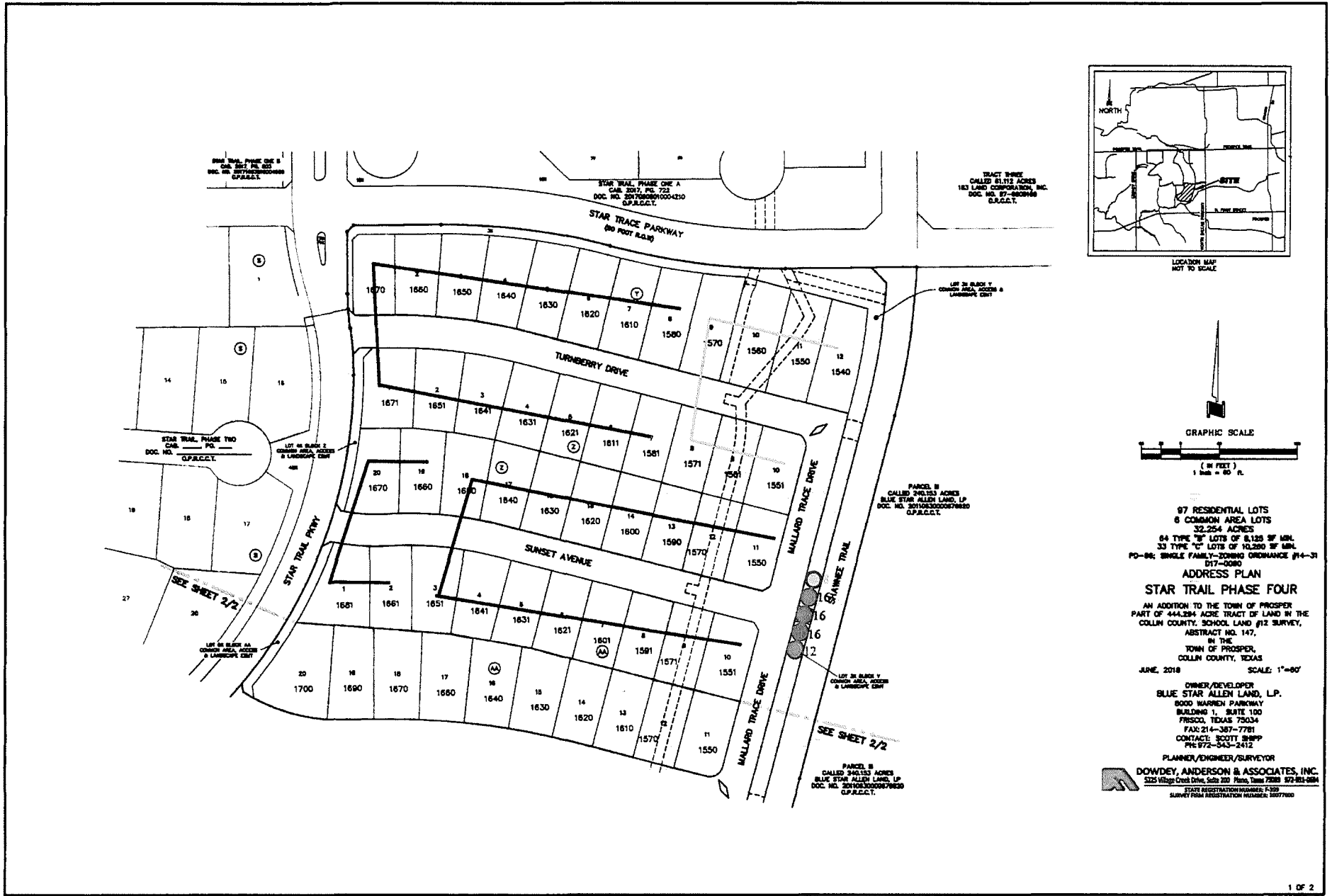
226

MAILBOXES

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. The mailboxes will be purchased and installed by the Developer and rebilled to the builders. Key distribution will be handled by the respective on-site builder sales representative after the home is closed to the homeowner.

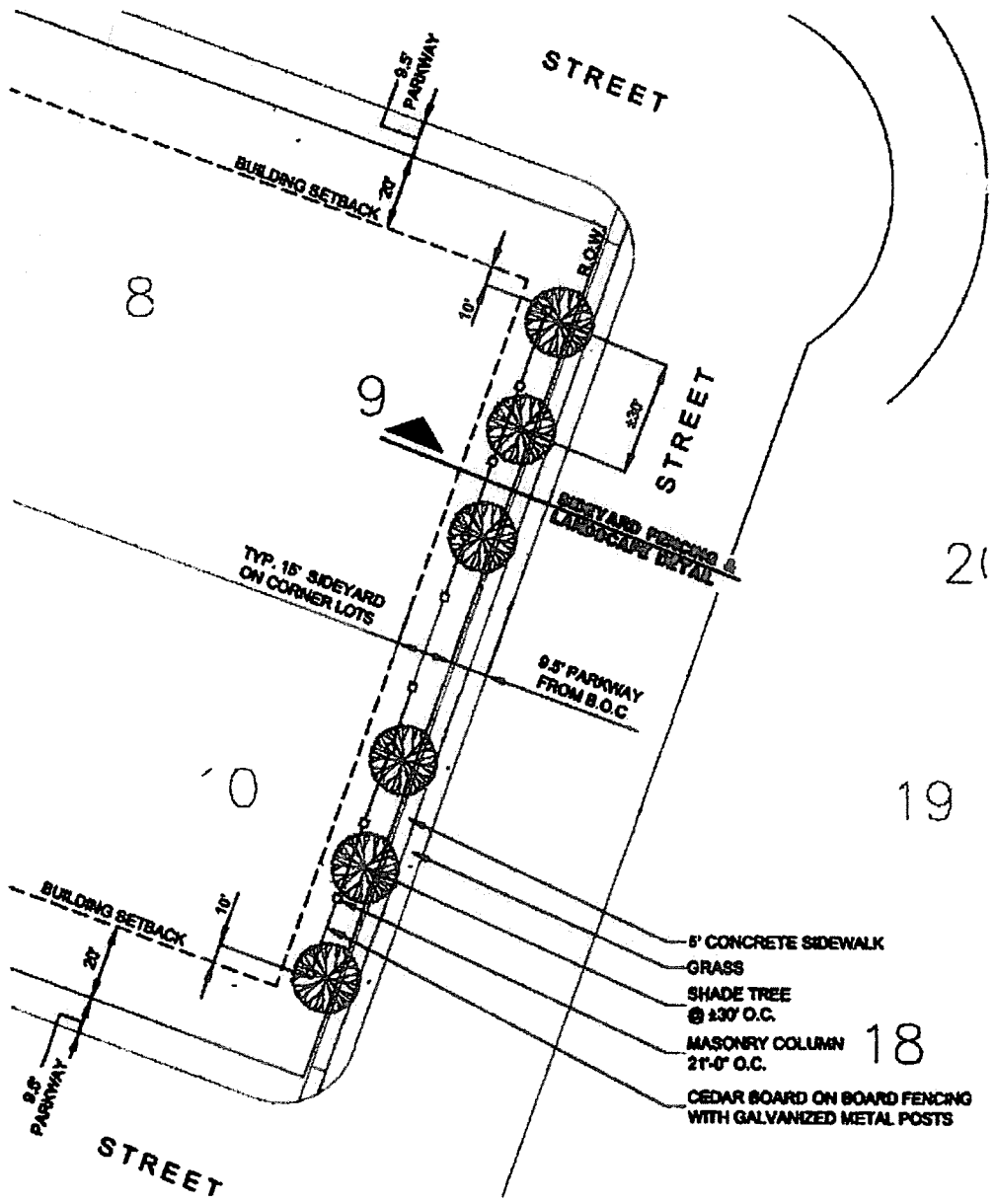
A map showing all CPU locations and size is attached.

\P\1919\1919-04-ADDRESS PLAN\1919-04-ADDRESS PLAN.dwg, 12/01/2022 10:11 AM, DWG, 1919-04-ADDRESS PLAN.dwg, 12/01/2022 10:11 AM, DWG, 1919-04-ADDRESS PLAN.dwg, 12/01/2022 10:11 AM, DWG



97 RESIDENTIAL LOTS
 6 COMMON AREA LOTS
 32.254 ACRES
 64 TYPE "B" LOTS OF 8,125 SF MIN.
 33 TYPE "C" LOTS OF 10,200 SF MIN.
 PD-BE: SINGLE FAMILY-ZONING ORDINANCE #14-31
 D17-0080
ADDRESS PLAN
STAR TRAIL PHASE FOUR
 AN ADDITION TO THE TOWN OF PROSPER
 PART OF 444.284 ACRE TRACT OF LAND IN THE
 COLLIN COUNTY, SCHOOL LAND #12 SURVEY,
 ABSTRACT NO. 147,
 IN THE
 TOWN OF PROSPER,
 COLLIN COUNTY, TEXAS
 JUNE, 2018 SCALE: 1"=60'
 OWNER/DEVELOPER
 BLUE STAR ALLEN LAND, LP.
 6000 WARREN PARKWAY
 BUILDING 1, SUITE 100
 FRISCO, TEXAS 75034
 FAX: 214-367-7781
 CONTACT: SCOTT BERRY
 PH: 972-543-2412
 PLANNER/ENGINEER/SURVEYOR
DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 200, Plano, Texas 75093 972-951-6894
 STATE REGISTRATION NUMBER: E-520
 SURVEY FROM REGISTRATION NUMBER: 1057700

EXHIBIT "C"
STREETSCAPE PLAN

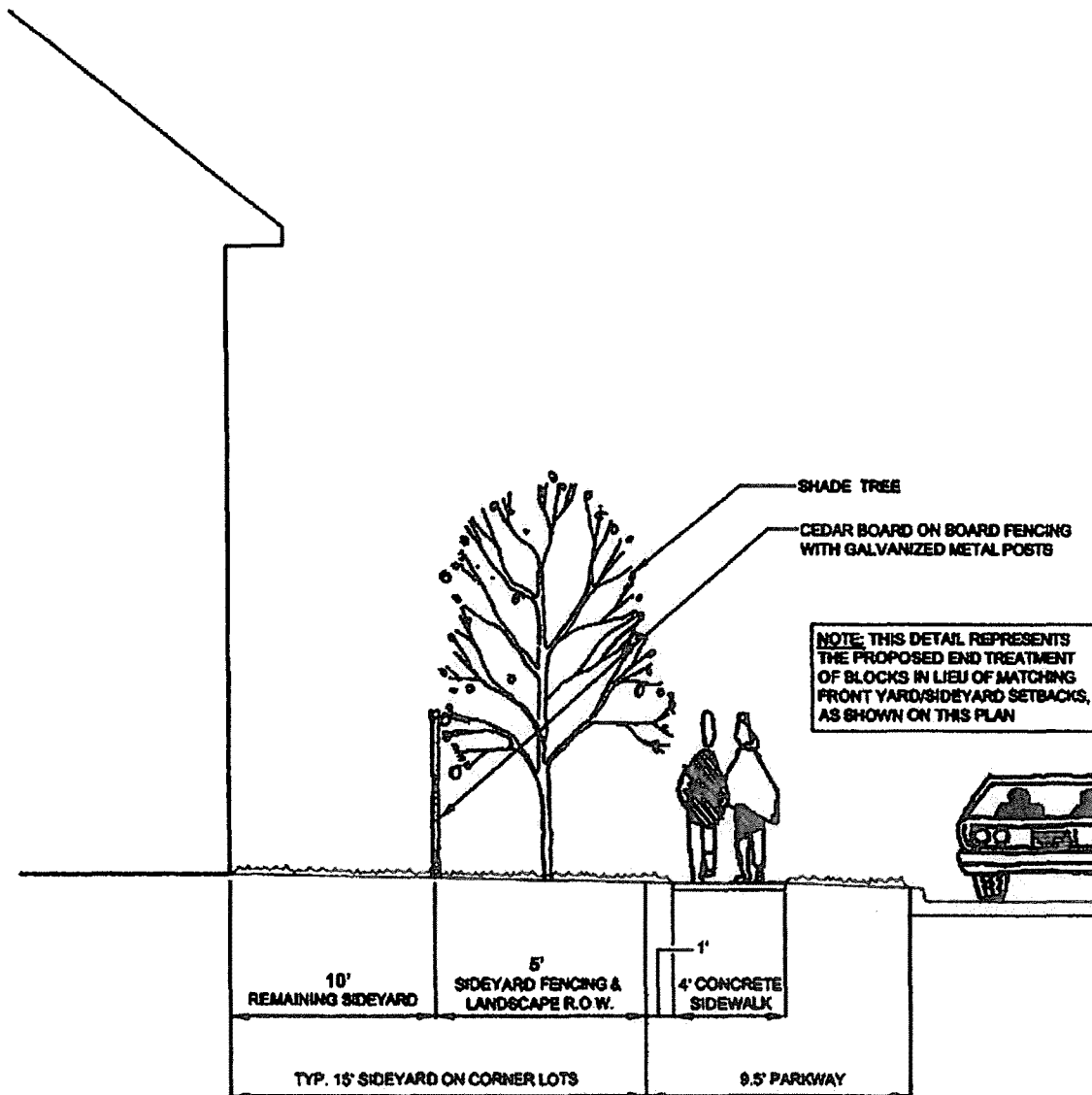


SIDEYARD FENCING & LANDSCAPE PLAN

PLAN

SCALE, N.T.S.

EXHIBIT "D" STREETSCAPE PLAN



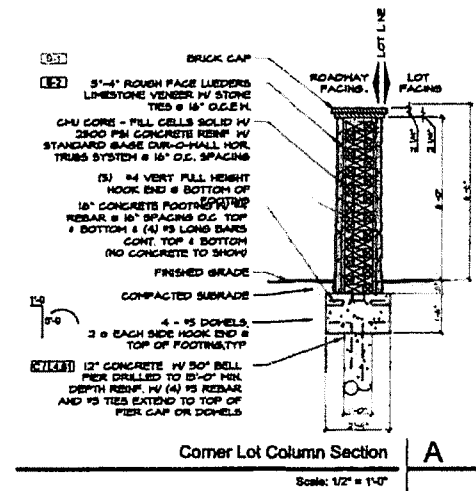
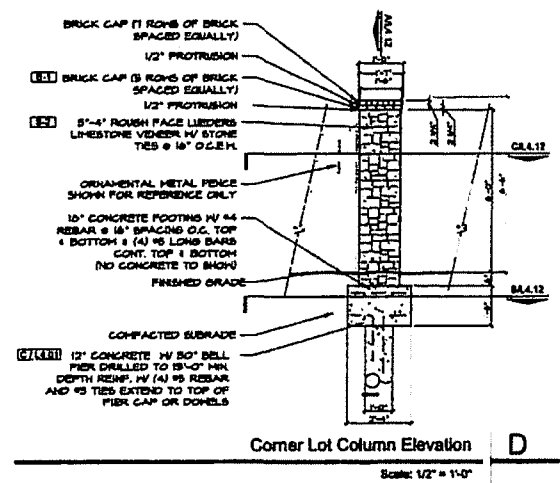
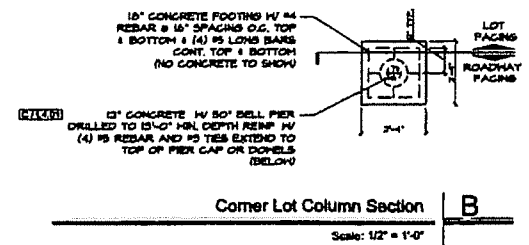
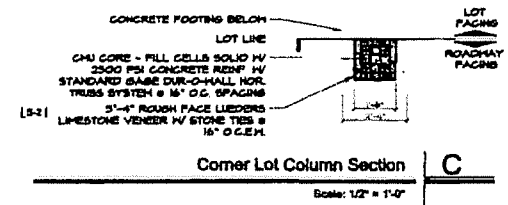
SIDEYARD FENCING & LANDSCAPE DETAIL

SECTION/ELEVATION

SCALE, N.T.S.

Brick for Columns is Acme Richland Meadows

Stone is Leuders Limestone



CORNER LOT COLUMN AS BUILT DETAIL
 STAR TRAIL

APR 14, 2017

Villages of Star Trail New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in StarTrail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/ approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of StarTrail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: ___ Phase: ___ Lot/Block: ___ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Options: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR

SELECTIONS SIDING:

Wood: _____ Manufacturer & Stain/Paint Color: _____

Cementitious: _____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in StarTrail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

NCC Submittal Application

Page Two

MASONRY:

Stone: _____ Color: _____

Stucco: _____ Color: _____

Brick: _____ Manufacturer/Color: _____

ROOFING:

Composition: _____ Manufacturer/Color: _____

Tile: _____ Manufacturer/Color: _____

GARAGE DOOR PAINT/STAIN: Manufacturer/color: _____

General Comments: _____

APPROVAL/DENIAL AND REQUIRED REVISIONS FOR RESUBMITTAL:

REVIEWED ON: _____ BY: _____

The Villages of Star Trail Design Guidelines

July 31, 2020 PHASE FIVE

1 TITLE AND SCOPE

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as “Guidelines” for Star Trail.

101 PURPOSE

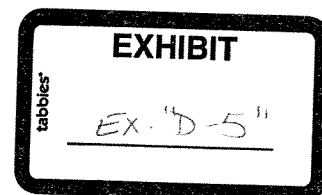
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the “Declaration”) of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgment and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to insure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner’s individual taste in design, colors and materials.



PROCESS FOR CONSTRUCTION**SUBMITTAL OF MASTER PLAN SET**

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of StarTrail NCC and Blue Star Allen Land, LP.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at 1/8" scale;
 - b. Front elevations with finish notations at 1/8"=1 ft. scale; remaining elevations with finish notations at 1/8" = 1 ft. scale. All elevations should show dimensions with:
 - i. %-age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by Blue Star Allen Land, LP.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully

complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 **MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS**

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 **SITE PLAN SUBMITTALS**

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 **MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION**

Type C Lots - Each **single story** dwelling constructed on a Type C lot shall contain a minimum of **2500 square feet** of floor space, maximum of **4600 square feet**; two story dwellings shall contain a minimum of **3000 square feet** of floor space, maximum of **4800 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type D Lots - Each single story dwelling constructed on a Type D lot shall contain a minimum of **3000 square feet** of floor space; two story dwellings shall contain minimum of **3500 square feet** of floor space. There are no limitations on maximum square footage on Phase I Type D lots.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204

FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

******The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.***

205

BRICK REPEAT RESTRICTIONS

On all Star Trail lots on the same side of a village street, repeat of brick shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather

staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring painted brick and stucco will adhere to the same repeat standards as stated above.

A minimum of a two lot separation on brick, a brick base color, brick shade and brick appearance from the front of the home. Brick repeats will be evaluated based on COLOR of brick, not simply manufacturer, name and shade. Any remote suggestion of similarity can be cause for denial of the submittal.

Repeats require at least a two lot separation. Specifically there must be at least two houses between similar bricks/brick shades/painted brick, etc

206 **PLATE HEIGHT**

Each Type C and Type D home shall have a minimum principal plate height of 10' on the first floor.

300 **LANDSCAPE REQUIREMENTS**

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6") or more in diameter at a point four feet (4') above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

301 **IRRIGATION**

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

302 **LANDSCAPE LIGHTING**

While not a requirement for any home built in StarTrail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

303

REQUIRED LANDSCAPE MATERIAL

LAWNS, FRONT, REAR AND SIDE

Yards (including front, side and rear) shall be completely sodded.

REQUIRED TREE PLANTINGS

All Phase 5, Type C and D lots within Star Trail must have a minimum of two (2) large trees in the front yard (species of tree from the following list.) Each large tree must be a minimum 4 caliper inches as measured at 12 inches above grade.

All Phase 5 lots, Type C and D must have a minimum 2 large trees in the rear yard.

All Phase 5 lots, Type C and D located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify a **minimum** of the following for each zoning classification:

Type C Lots, typical 10,260 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

Type D Lots, typical 11,610 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

The following criteria should be considered when selecting plants for use within Star Trail:

2. Native species and evergreens;
3. Relatively resistant to insects and diseases;
4. Cold hardy material

5. Adaptability to existing soil conditions; and
6. Long life expectancy.

304

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak
10. Sycamore

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed Dogwood
7. Texas Persimmon
8. Tree-Form Holly, e.g. Nellie
R. Stevens Holly, Foster Holly
9. Desert Willow
10. Hawthorne
11. Ornamental Pear
12. Possumhaw Holly
13. Vitex

SHRUBS

- | | |
|--------------------------------------|----------------------------------|
| 1. Dwarf Glossy Abelia/Glossy Abelia | 12. Dwarf Chinese Holly |
| 2. Juniper | 13. Purpleleaf Japanese Barberry |
| 3. Barberry | 14. Nandina |
| 4. Texas Sage (Cenizia) | 15. Encore Azalea(?) |
| 5. Dwarf Yaupon Holly | |
| 6. Dwarf Burford Holly/Burford Holly | |
| 7. Indian Hawthorne(?) | |
| 8. Cleyera | |
| 9. Nellie R. Stevens Holly | |
| 10. Sweet Viburnum | |
| 11. Willowleaf Holly | |

STRUCTURES

400 ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in Star Trail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

401 EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (**no siding of any kind will be allowed**).

Acceptable finishes are the following:

- A. Brick: except gray brick, which is not permitted. Brick may be painted with the approval of the NCC as to color.
- B. Stone

- C. Cementitious lap siding (no more than 20% max on Type C and Type D lots) 100% masonry on all front elevations. NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement except in recessed and/or cantilevered features. Examples are porches, dormers, etc.
- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

402 BALCONY PLACEMENT

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

403 WINDOWS

All window framing will be bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

404 EXTERIOR WALL COLORS

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

405 GARAGES AND DRIVEWAY MATERIALS

All StarCreek homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front façade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be "carriage style door" designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

DRIVEWAYS

All Star Trail Phase 5 residential lots in zoning classification Type D will feature driveways constructed of 60mm Belgard Brick pavers installed in a herringbone pattern. Color of paver is Fossil Beige.

All Type C Driveways in Star Trail Phase 5 will be a salt finish natural concrete with stain colors to be approved by NCC prior to construction.

403

DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

404 **AWNINGS**

Awnings are prohibited in Star Trail.

405 **DETACHED STRUCTURES**

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

406 **FENCING**

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Land Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative wrought iron fence, minimum 4 foot in height, abutting said public area. (PD-66 as Amended May, 2017)

Fencing on all other residential lots will be constructed of masonry, iron or cedar per the developer requirements as shown on the attached fencing exhibit.

Masonry will only be allowed on lots adjacent to or abutting HOA-owned common area lots.

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. all cedar fencing will be typical board-to-board per the attached exhibit.

All residential lots located on a corner adjacent to a street shall require either decorative metal or board-on-board fencing along the sideyard adjoining the street with masonry columns, placed at 21 feet OC. A detail of the required masonry column is attached. All other fencing on a corner lot (ie. rear and lot-to-lot side) may be board-to-board provided said fencing is

not abutting public park or hike/bike trail/public areas which require decorative iron.

In deciding how to “face” the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, IE. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use “Ready Seal, Medium Brown, Color number OS-015B.”

FENCING RETURNS:

All lots requiring board-on-board sideyard fencing will also require a board-on-board return to the house.

All lots requiring standard wood fences with standard wooden sideyard conditions will have standard wooden returns to the house.

All lots requiring wrought iron fencing require a wrought iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:

The fencing setbacks for the four StarTrail lot classifications are as follows:

*Type C/76’ lot zoning - no fencing shall extend beyond a point fifteen feet (15’) behind the front wall plane of the structure into the front yard.

*Type D/86’ lot zoning - no fencing shall extend beyond a point fifteen feet(15’) behind the front wall plane of the structure into the front yard.

No window or wall air conditioning units will be permitted on any building in StarTrail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

408 **FIREPLACES AND CHIMNEYS**

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

409 **SWIMMING POOLS, ALL OUTDOOR STRUCTURES**

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

410 **MAILBOXES**

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. An 8-16 box cluster design will be used in StarTrail Phase 5, to be installed by BSAL. Specific location(s) to be published prior to Substantial Completion.

Villages of Star Trail
New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in StarTrail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/ approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of StarTrail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: _____ Phase: _____ Lot/Block: _____ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR SELECTIONS

SIDING:

Wood: _____ Manufacturer & Stain/Paint Color: _____

Cementitious: _____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in StarTrail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

MASONRY:

Stone: _____ Color: _____

Stucco: _____ Color: _____

Brick: _____ Manufacturer/Color: _____

NCC Submittal Application

Page Two

ROOFING:

Composition: _____ Manufacturer/Color: _____

Tile: _____ Manufacturer/Color: _____

GARAGE DOOR PAINT/STAIN: Manufacturer/Color: _____

General Comments: _____

MATERIAL AND COLOR APPROVALS:

SIDING %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

MASONRY %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

COLORS:

SIDING: WOOD PAINT: _____ WOOD STAIN _____

CEMENTATIOUS: _____

GARAGE DOOR STAIN: _____

MASONRY: STONE: _____ BRICK: _____ STUCCO: _____

ROOFING: _____

COMMENTS: _____

REVIEWED ON: _____ BY: _____

The Villages of Star Trail Design Guidelines

April 14, 2021 PHASE SIX & SEVEN

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as “Guidelines” for Star Trail.

101 PURPOSE

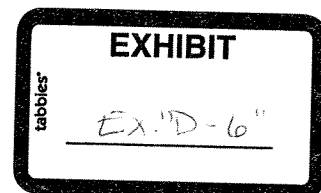
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the “Declaration”) of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgment and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to insure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner’s individual taste in design, colors and materials.



PROCESS FOR CONSTRUCTION**SUBMITTAL OF MASTER PLAN SET**

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of Star Trail NCC and Blue Star Allen Land, LP/McCauley Architectural Review.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at 1/8" scale;
 - b. Front elevations with finish notations at 1/8"=1 ft. scale; remaining elevations with finish notations at 1/8" = 1 ft. scale. All elevations should show dimensions with:
 - i. %-age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by McCauley Architectural Review.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP/McCauley Architectural Review is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 **MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS**

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 **SITE PLAN SUBMITTALS**

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 **MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION**

Type A Lots - Each **single story** dwelling constructed on a Type A lot shall contain a minimum of **1800 square feet** of floor space, maximum of **3600 square**

feet; **two story dwellings** shall contain a minimum of **2000 square feet** of floor space, **maximum of 3900 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type B Lots - Each **single story** dwelling constructed on a Type B lot shall contain a minimum of **2300 square feet** of floor space, maximum of **4200 square feet**; **two story dwellings** shall contain a minimum of **2650 square feet** of floor space, maximum of **4400 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type C Lots - Each **single story** dwelling constructed on a Type C lot shall contain a minimum of **2500 square feet** of floor space, maximum of **4600 square feet**; **two story dwellings** shall contain a minimum of **3000 square feet** of floor space, maximum of **4800 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type D Lots - Each **single story** dwelling constructed on a Type D lot shall contain a minimum of **3000 square feet** of floor space; **two story dwellings** shall contain minimum of **3500 square feet** of floor space. There are no limitations on maximum square footage on Type D lots.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204

FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

******The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.***

205 BRICK REPEAT RESTRICTIONS

On all Star Trail lots on the same side of a village street, repeat of brick shall be limited to one in every three lots (ie. a minimum two (2) lot separation.

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring painted brick and stucco will adhere to the same repeat standards as stated above.

206 PLATE HEIGHT

Each Type A and Type B home shall have a minimum principal plate height of 9' on the first floor.

Each Type C and Type D home shall have a minimum principal plate height of 10' on the first floor.

300 LANDSCAPE REQUIREMENTS

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6") or more in diameter at a point four feet (4') above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

301 IRRIGATION

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

302 LANDSCAPE LIGHTING

While not a requirement for any home built in Star Trail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

303 REQUIRED LANDSCAPE MATERIAL

LAWNS, FRONT, REAR AND SIDE

Yards (including front, side and rear) shall be completely sodded.

REQUIRED TREE PLANTINGS

All Phase 7, Type B, lots within Star Trail must have a minimum of two (2) large trees in the front yard (species of tree from the following list.) Each large tree must be a minimum 4 caliper inches as measured at 12 inches above grade. If the shape of the lot does not provide adequate room for the planting of two trees in the front yard, then an additional tree may be planted in the rear yard in lieu of the front yard with the Town's approval.

All Phase 6 Type A lots within Star Trail must have a minimum of one (1) large tree in the front yard. Each large tree must be a minimum of 4 caliper inches as measured at 12 inches above grade.

All Phase 6 & 7 lots, Type A and B must have a minimum 1 large tree in the rear yard.

All Phase 6 & 7 lots, Type A, B, C and D located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify a **minimum** of the following for each zoning classification:

Type A Lots, typical 6,875 sq. feet - Minimum 12, 3 gallon shrubs across the front elevation of the home.

Type B Lots, typical 8,125 sq. feet - Minimum 15, 3 gallon shrubs across the front elevation of the home.

Type C Lots, typical 10,260 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

Type D Lots, typical 11,610 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation. Shrubs and trees that are not included on the list below may be submitted for consideration provided that they meet the following criteria:

1. Native species and evergreens;
2. Relatively resistant to insects and diseases;
3. Cold hardy material
4. Adaptability to existing soil conditions; and
5. Long life expectancy.

304

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak
10. Sycamore
11. Red Oak
12. Chinese Pistache
13. Bald Cypress
14. Lacebark Elm
15. Eastern Red Cedar

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed Dogwood
7. Texas Persimmon
8. Tree-Form Holly, e.g. Nellie
R. Stevens Holly, Foster Holly
9. Desert Willow
10. Hawthorne
11. Ornamental Pear
12. Possumhaw Holly
13. Vitex
14. Taylor Juniper
15. Arizona Cypress

SHRUBS

- | | |
|--------------------------------------|----------------------------------|
| 1. Dwarf Glossy Abelia/Glossy Abelia | 12. Dwarf Chinese Holly |
| 2. Juniper | 13. Purpleleaf Japanese Barberry |
| 3. Barberry | 14. Nandina |
| 4. Texas Sage (Cenizia) | 15. Encore Azalea(?) |
| 5. Dwarf Yaupon Holly | |
| 6. Dwarf Burford Holly/Burford Holly | |
| 7. Indian Hawthorne(?) | |
| 8. Cleyera | |
| 9. Nellie R. Stevens Holly | |
| 10. Sweet Viburnum | |
| 11. Willowleaf Holly | |

STRUCTURES

400 ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in Star Trail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

401 EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (**no siding of any kind will be allowed**).

Acceptable finishes are the following:

- A. Brick: except white or gray brick, which are not permitted. Brick may be painted with the approval of the NCC as to color.
- B. Stone
- C. Cementitious lap siding (no more than 30% on any individual elevation in Type A and Type B lots; 20% max on Type C and Type D lots) 100% masonry on all front elevations. NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement except in recessed and/or cantilevered features. Examples are porches, dormers, etc.
- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

402 **BALCONY PLACEMENT**

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

403 **WINDOWS**

All window framing will be black, bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

404 **EXTERIOR WALL COLORS**

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

405 **GARAGES AND DRIVEWAY MATERIALS**

All Star Trail homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Type A and Type B lots shall have no more than three (3) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front façade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be “carriage style door” designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

DRIVEWAYS

All Star Trail Phase 6 & 7 residential lots in zoning classification Types A and B will feature driveways with a salt finish.

403 DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

404 AWNINGS

Awnings are prohibited in Star Trail.

405 DETACHED STRUCTURES

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

406 FENCING

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Land Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative ornamental iron fence, minimum 4 foot in height, abutting said public area. (PD-66 as Amended May, 2017)

Fencing on all other residential lots will be constructed of masonry, iron or cedar per the developer requirements as shown on the attached fencing exhibit.

Masonry will only be allowed on lots adjacent to or abutting HOA-owned common area lots.

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. all cedar fencing will be typical board-on-board per the attached exhibit.

All residential lots located on a corner adjacent to a street shall require either decorative metal or board-on-board fencing along the sideyard adjoining the street with masonry columns, placed at 21 feet (max) OC. A detail of the required masonry column is attached. All other fencing on a corner lot (ie. rear and lot-to-lot side) may be board-on-board provided said fencing is not abutting public park or hike/bike trail/public areas which require ornamental iron.

In deciding how to “face” the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, IE. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use “Ready Seal, Medium Brown, Color number OS-015B.”

FENCING RETURNS:

All lots requiring board-on-board sideyard fencing will also require a board-on-board return to the house.

All lots requiring standard wood fences with standard wooden sideyard conditions will have standard wooden returns to the house.

All lots requiring ornamental iron fencing require a ornamental iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:.

The fencing setbacks for the four Star Trail lot classifications are as follows:

*Type A/55' lot zoning - no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the structure into the front yard.

*Type B/65' lot zoning - no fencing shall extend beyond a point ten foot (10') behind the front wall plane of the structure into the front yard.

*Type C/76' lot zoning - no fencing shall extend beyond a point fifteen feet (15') behind the front wall plane of the structure into the front yard.

*Type D/86' lot zoning - no fencing shall extend beyond a point fifteen feet(15') behind the front wall plane of the structure into the front yard.

407 AIR CONDITIONERS

No window or wall air conditioning units will be permitted on any building in Star Trail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

408 FIREPLACES AND CHIMNEYS

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

409 SWIMMING POOLS, ALL OUTDOOR STRUCTURES

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the

review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

410

MAILBOXES

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. Specific location(s) to be published prior to Substantial Completion.

Villages of Star Trail New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in Star Trail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/ approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of Star Trail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: _____ Phase: _____ Lot/Block: _____ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR SELECTIONS

SIDING:

Wood: _____ Manufacturer & Stain/Paint Color: _____

Cementitious: _____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in Star Trail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

MASONRY:

Stone: _____ Color: _____

Stucco: _____ Color: _____

Brick: _____ Manufacturer/Color: _____

**NCC Submittal Application
Page Two**

ROOFING:

Composition: _____ Manufacturer/Color: _____

Tile: _____ Manufacturer/Color: _____

GARAGE DOOR PAINT/STAIN: Manufacturer/Color: _____

General Comments: _____

MATERIAL AND COLOR APPROVALS:

SIDING %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

MASONRY %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

COLORS:

SIDING: WOOD PAINT: _____ WOOD STAIN _____

CEMENTITIOUS: _____

GARAGE DOOR STAIN: _____

MASONRY: STONE: _____ BRICK: _____ STUCCO: _____

ROOFING: _____

COMMENTS: _____

REVIEWED ON: _____ BY: _____

The Villages of Star Trail Design Guidelines

December 1, 2021 PHASE EIGHT & NINE

1 TITLE AND SCOPE

100 TITLE

This compilation of guidelines shall be known as the Villages of Star Trail Design Guidelines, hereinafter referred to as "Guidelines" for Star Trail.

101 PURPOSE

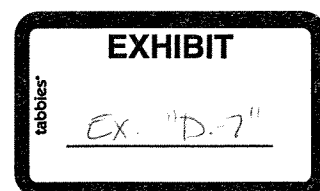
The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homebuilders and homeowners implementing new construction within Star Trail.

The suggestions, recommendations and requirements expressed in these guidelines hinge upon final approval of plans by and at the discretion of Blue Star Allen Land, LP, a Texas limited partnership, as the Declarant through the New Construction Committee (NCC.)

These guidelines are compatible and in continuity with the requirements of the Town of Prosper and the Declaration of Covenants, Conditions and Restrictions (the "Declaration") of the Villages of Star Trail.

102 SCOPE

These guidelines are for the purpose of outlining the minimum requirements for residences in Star Trail as well as to assist homebuilders and homeowners in the design of their residences. The evaluation of each submittal to the NCC relates to matters of judgment and taste, which cannot be reduced to a simple list of measurable criteria. It is possible a submission may meet all guidelines and criteria listed below and still not receive approval, if in the judgment of the NCC its overall aesthetic impact is not acceptable. The approval of an application for one proposed improvement shall not be construed as creating any obligation on the part of the NCC to approve applications involving similar designs for proposed improvements pertaining to different lots. The role of the NCC is to insure that the overall quality level of Star Trail is maintained at the highest level possible while still allowing for each owner's individual taste in design, colors and materials.



PROCESS FOR CONSTRUCTION**SUBMITTAL OF MASTER PLAN SET**

Prior to offering any plan for sale in Star Trail, all builders must submit a master set for review by the Villages of StarTrail NCC and Blue Star Allen Land, LP.

In cases of repetitive plans being offered for sale in the project, a one-time blanket approval for Builders, who own multiple lots, may be obtained for use at Star Trail.

In cases of individual modifications as might be requested by a prospective homeowner, an individual plan submittal for a specific lot/block will be required in each instance.

Each plan submitted for review under a Master Plan submittal shall include comprehensive construction plans and specifications which shall include, but not be limited to, the following items:

1. Architectural construction plans:
 - a. Floor plans at 1/8" scale;
 - b. Front elevations with finish notations at 1/8"=1 ft. scale; remaining elevations with finish notations at 1/8" = 1 ft. scale. All elevations should show dimensions with:
 - i. %-age of Masonry and all exterior materials and textures;
 - ii. Type, size and material of all openings;
 - iii. Roof pitch and type of roofing material, and
 - iv. Doors and windows.
2. Square footage (first and second floors):
 - a. Air-conditioned space (living area).
 - b. Other.

The NCC will release the plans submitted by the homebuilder for building permit after full plan review and approval by Blue Star Allen Land, LP.

No plan review will begin until the Master Plan submittal form(s), and complete plan sets are received.

NOTE: Approval of homebuilder plans and specifications by Blue Star Allen Land, LP does not release the homebuilder from fully

complying with all applicable codes and requirements of the Town of Prosper. The review process of Blue Star Allen Land, LP is strictly for compliance with the design parameters as dictated in this document.

Allow four (4) weeks for processing architectural review of the Master Plan Set.

Should revisions to an individual plan/elevation be required, a re-submittal of the requested revised plans will be sent to the architect for approval and release prior to the submittal of any site plan for a specific lot/block.

201 **MATERIAL SELECTIONS AND COLOR BOARD SUBMITTALS**

Each builder shall prepare and submit a complete array of materials and colors to be offered to prospective homebuyers in Star Trail. This selections submittal shall contain the following:

- All brick colors and manufacturer
- Roofing material and color
- Siding material and color
- Trim color
- Garage door color/stain
- Shutter color, etc.

202 **SITE PLAN SUBMITTALS**

The homebuilder may start construction proceedings upon written receipt of an approved Master Plan submittal and an approved Site Plan submittal, specific to the requested lot/block. Such approvals to be granted contingent upon the receipt of all required permits from the Town of Prosper or other authorities having jurisdiction over the project.

For site plan approval, the homebuilder will submit the attached Site Plan Submittal form accompanied by a 1"=20' plan showing all dimensions, the location of the house on the Lot with all property lines, easements, setback and restriction lines, drives, walks, fences, walls and patios. After NCC plan approval has been issued, no adjustments to the location and siting of the dwelling on the lot are allowed without resubmitting a new site plan for approval by the NCC.

203 **MINIMUM SQUARE FOOTAGE BY ZONING CLASSIFICATION**

Type C Lots - Each **single story** dwelling constructed on a Type C lot shall contain a minimum of **2500 square feet** of floor space, maximum of **4600 square feet**; two story dwellings shall contain a minimum of **3000 square feet** of floor space, maximum of **4800 square feet**.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

Type D Lots - Each single story dwelling constructed on a Type D lot shall contain a minimum of **3000 square feet** of floor space; two story dwellings shall contain minimum of **3500 square feet** of floor space. There are no limitations on maximum square footage on Phase I Type D lots.

Floor space shall include air-conditioned floor areas, exclusive of porches, garages, patios, terraces or breezeways attached to the main building.

204 FLOORPLAN AND ELEVATION REPETITION

A minimum of four (4) distinctly different home elevations shall be built on the same side of every street in Star Trail. (Town of Prosper Residential Standards, October 7, 2015.)

On all Star Trail lots on the same side of a village street, repeat of floor plans shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

On all Star Trail lots on the same side of a village street, repeat of elevation shall be limited to one in every four lots (ie. a minimum three (3) lot separation.)

Additionally, the condition for repeats on all lots shall be such that the same floor plan or elevation may not be built directly across a street OR directly behind but, rather staggered by two (2) lots with the plan repeat as described above. This restriction applies to both the front and side conditions of each lot.

The NCC will have final approval of floor plan, elevation and brick colors, pursuant to policy and procedures established by the NCC and any deviation to the above Plan and Brick Repeat Policy will be subject to NCC review for consideration of a possible variance.

******The NCC will maintain and provide a record of all plan, elevation and material selections by lot. The responsibility for the accuracy of all new plan submittals is the responsibility of the individual homebuilders.***

205 BRICK REPEAT RESTRICTIONS

On all Star Trail lots on the same side of a village street, repeat of brick shall be limited to one in every three lots (ie. a minimum two (2) lot separation.)

Additionally, the restriction for brick repeats on all lots shall be such that the same brick/brick color may not be built directly across from OR behind but, rather

staggered by a minimum of two (2) lots. This restriction applies to both the front and side conditions of each lot.

Elevations featuring painted brick and stucco will adhere to the same repeat standards as stated above.

A minimum of a two lot separation on brick, a brick base color, brick shade and brick appearance from the front of the home. Brick repeats will be evaluated based on COLOR of brick, not simply manufacturer, name and shade. Any remote suggestion of similarity can be cause for denial of the submittal.

Repeats require at least a two lot separation. Specifically there must be at least two houses between similar bricks/brick shades/painted brick, etc

206 **PLATE HEIGHT**

Each Type C and Type D home shall have a minimum principal plate height of 10’ on the first floor.

300 **LANDSCAPE REQUIREMENTS**

All landscaping will be in accordance with the requirements of PD 66/The Villages of Star Trail, these New Construction Guidelines and the general development standards as required by the Town of Prosper. Nothing herein shall be construed to be less than nor to reduce the requirements of the Town of Prosper.

PRESERVATION OF EXISTING TREES

Preservation and enhancement of any lot area retaining native vegetation is strongly encouraged. No trees measuring six inches (6”) or more in diameter at a point four feet (4’) above grade may be removed without written approval of the Declarant (such approval not to be unreasonably withheld.)

301 **IRRIGATION**

Irrigation will be required on all lots in Star Trail. The irrigation system shall be automatically controlled by a time clock and incorporate rain and freeze sensors to prevent water waste and ice formation.

302 **LANDSCAPE LIGHTING**

While not a requirement for any home built in StarTrail, if used, landscape lighting is to be low key and should be used to accent entrances and special features only. Overall high levels of light are not desired. Intensity should be no greater than that required for pedestrian safety, other than on landscape accent. The scale of this lighting should be at a residential level.

303

REQUIRED LANDSCAPE MATERIAL**LAWNS, FRONT, REAR AND SIDE**

Yards (including front, side and rear) shall be completely sodded.

REQUIRED TREE PLANTINGS

All Phase 5, Type C and D lots within Star Trail must have a minimum of two (2) large trees in the front yard (species of tree from the following list.) Each large tree must be a minimum 4 caliper inches as measured at 12 inches above grade.

All Phase 5 lots, Type C and D must have a minimum 2 large trees in the rear yard.

All Phase 5 lots, Type C and D located on a street corner adjacent to a street must have additional large trees planted along the side yard @ 30' OC.

To satisfy the requirements of these guidelines, all large trees must be selected from the following list and be a minimum 4 caliper inches as measured at 12 inches above grade.

REQUIRED SHRUB PLANTINGS

In summary, all Star Trail lots must have shrubs planted to effect a foundation screen across the front and any side elevations of the home visible from a street or common area.

Town of Prosper Development Requirements specify a **minimum** of the following for each zoning classification:

Type C Lots, typical 10,260 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

Type D Lots, typical 11,610 square feet - Minimum 20, 3 gallon shrubs across the front elevation of the home.

In addition, shrubs and hedges shall be planted along any side elevation not screened from view of neighboring homes and streets by a privacy fence.

Corner lots adjacent to a street, including lots with a side elevation facing the front elevation of a home, will require large trees be planted along the side elevation at 30' OC. Shrubs will be required along the foundation to affect a screen.

Shrubs and hedges shall be minimum three (3)-gallon plants and shall be spaced or clustered in an appropriate manner to conceal or direct attention from any exposed foundation.

The following criteria should be considered when selecting plants for use within Star Trail:

2. Native species and evergreens;
3. Relatively resistant to insects and diseases;
4. Cold hardy material

5. Adaptability to existing soil conditions; and
6. Long life expectancy.

304

PLANT LIST

Particular attention should be paid to the individual soil conditions and soil preparation to provide adequate drainage for all planted vegetation.

Large Canopy Trees

1. Pecan
2. Southern Magnolia
3. Shumard Oak
4. Cedar Elm
5. Texas Ash
6. Bur Oak
7. Live Oak
8. Fruitless Sweetgum
9. Southern Live Oak
10. Sycamore
11. Red Oak
12. Chinese Pistache
13. Bald Cypress
14. Lacebark Elm
15. Eastern Red Cedar

Ornamental Trees

1. Aristocrat Pear
2. Crepe Myrtle
3. Mexican Plum
4. Yaupon Holly
5. Redbud
6. Roughleafed Dogwood
7. Texas Persimmon
8. Tree-Form Holly, e.g. Nellie
R. Stevens Holly, Foster Holly
9. Desert Willow
10. Hawthorne
11. Ornamental Pear
12. Possumhaw Holly
13. Vitex
14. Taylor Juniper
15. Arizona Cypress

SHRUBS

- | | |
|---|--|
| <ol style="list-style-type: none"> 1. Dwarf Glossy Abelia/Glossy Abelia 2. Juniper 3. Barberry 4. Texas Sage (Cenizia) 5. Dwarf Yaupon Holly 6. Dwarf Burford Holly/Burford Holly 7. Indian Hawthorne(?) 8. Cleyera 9. Nellie R. Stevens Holly 10. Sweet Viburnum 11. Willowleaf Holly | <ol style="list-style-type: none"> 12. Dwarf Chinese Holly 13. Purpleleaf Japanese Barberry 14. Nandina 15. Encore Azalea(?) |
|---|--|

STRUCTURES

400

ROOF AND ROOFING MATERIAL

On all residential lots in Star Trail, 65% of any composition roof shall maintain a minimum roof pitch of 8:12. If the surface area of any residential lot in Star Trail is built with clay tile, cement tile, slate or slate products, or metal roofing material, a minimum of 75% shall maintain a minimum roof pitch of 3:12. (Town of Prosper Development Requirements Chapter 4, Section 9.8 A.)

Roof structures shall be out of conventional frames or wood trusses. Maximum height of any structure in Star Trail is 40 feet. Town of Prosper requires a residential sprinkler system be installed in any structure over 35 feet in height.

Finish materials for pitched roofs must be consistent throughout the individual villages at Star Trail. Acceptable materials are flat cement tiles, barrel type cement tiles, barrel clay tile or architectural type dimensional fiberglass singles with a 30-year warranty.

Gutters and downspouts may be exposed only if painted properly to match the color or the fascia, wall or column

All exposed roof vents, valleys, flashing and pipes extending through the roof shall be painted the same color as the roof.

401

EXTERIOR WALLS

The following requirements apply to all exterior walls and all kinds of facade applications for all structures. All elements of all elevations shall complete a total and continuous design.

All materials must be in compliance with the local Building Code and any other local regulations of the Town of Prosper.

Exterior wall finishes shall be consistent in color schemes, texture, composition and character throughout the individual villages at Star Trail. All exterior finishes will be subject to review and approval by the NCC. Walls with any type of exposed modular units will not be permitted.

100% masonry (brick, stone or stucco) on all front elevations. No siding of any kind will be allowed.

Housing elevations visible from any adjoining street, community entry, open space, common area, park, greenbelt shall be 100% brick, stone or stucco (**no siding of any kind will be allowed**).

Acceptable finishes are the following:

- A. Brick: except gray brick, which is not permitted. Brick may be painted with the approval of the NCC as to color.
- B. Stone
- C. Cementitious lap siding (no more than 20% max on Type C and Type D lots) 100% masonry on all front elevations. NOTE: Cement fiber products may not be used in meeting the 70%-80% masonry requirement

except in recessed and/or cantilevered features. Examples are porches, dormers, etc.

- D. Stucco (smooth, skip trowel or shot blast, as examples); and
- E. Other finishes permitted by the Town of Prosper subject to ARC approval.

Please refer to the Attached Exhibit for specific masonry requirements by lot and elevation.

402 BALCONY PLACEMENT

No rear facing balconies will be allowed on any lots in Star Trail except those lots that back/side to a park, greenbelt or street.

403 WINDOWS

All window framing will be bronzed, cream, sand or white anodized aluminum, vinyl or wood.

Window shutters, as an architectural design element, may be approved on a plan by plan basis.

No reflective window coverings or treatments shall be permitted at Star Trail. The ARC, at its discretion, may control or prohibit window coverings and treatments not reasonably compatible with aesthetic standards of the area.

404 EXTERIOR WALL COLORS

When finish materials for the exterior of the structures require painting, the color selection shall be based on compatible colors throughout the individual villages at Star Trail.

Homebuilders will offer color schemes and paint colors previously approved by the NCC.

In no circumstance shall two (2) houses of identical brick and paint color packages be permitted on adjacent lots fronting the same road. See Section 205 for additional considerations on brick/color repeats.

405 GARAGES AND DRIVEWAY MATERIALS

All StarCreek homes shall have a minimum of one (1) two (2) car garage but no more than two (2) two (2) car garages. Each garage must meet a 400 square feet minimum.

No carports shall be permitted.

No garage door directly facing a street shall be less than 25 feet from the property line.

Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front façade of the house.

Homes may feature up to a three (3) car garage provided all three bays not face the street but are split in a two/one configuration.

Garage door stain will be selected from builder's approved color selection.

No standard, traditional steel garage doors, painted or stained, will be allowed on any lot in Star Trail.

Doors must be constructed of a material that gives the appearance of a real wood door when viewed from any community street. Materials may consist of paint or stain grade wood (Cedar, Ash, Hemlock, etc.) or other material, including fiberglass or steel, that when stained or painted gives the appearance of a real wood door.

Doors may be single or double wide doors.

Additionally, two of the following upgrades must be incorporated:

If single doors, doors must be separated by a masonry column.

Garage doors may be "carriage style door" designs giving the appearance of a classic swing-open design with the flexibility of an overhead door operation.

Doors may incorporate decorative hardware.

Doors may incorporate windows.

DRIVEWAYS

All Star Trail Phase 9 residential lots in zoning classification Type D will feature driveways constructed of 60mm Belgard Brick pavers installed in a herringbone pattern. Color of paver is Fossil Beige.

All Type C Driveways in Star Trail Phase 8 will be a salt finish natural concrete with stain colors to be approved by NCC prior to construction.

403

DOORS

Screen doors shall be compatible with the design and color of the home.

Entrance doors shall be compatible with the house design. Material shall be solid wood, fiberglass or metal insulated type.

404 AWNINGS

Awnings are prohibited in Star Trail.

405 DETACHED STRUCTURES

Any free standing structure contemplated for a property, such as, but not limited to, a pavilion, a gazebo, platform, doghouse or dog run, playhouse, cabana, etc. must be submitted for approval with the required drawings and information. Approval will be granted only upon the merit of the structure, its location within the standard building setbacks for the particular zoning, its compatibility with the main house and its desirability for the neighborhood.

No free standing garage, garage apartment, storage or guest house will be allowed in Star Trail.

406 FENCING

Fencing is required in Star Trail per the attached exhibit. Certain sections/types of fencing will be installed by the developer, as noted. The remaining fencing is the requirement of the builder.

Fencing guidelines are as follows:

Land Adjacent to Public Park/Public Hike and Bike Trail

Require a decorative wrought iron fence, minimum 4 foot in height, abutting said public area. (PD-66 as Amended May, 2017)

Fencing on all other residential lots will be constructed of masonry, iron or cedar per the developer requirements as shown on the attached fencing exhibit.

Masonry will only be allowed on lots adjacent to or abutting HOA-owned common area lots.

If cedar fencing is required, the fence will be built with a top rail and shall be supported with galvanized steel posts, 8 foot OC. all cedar fencing will be typical board-to-board per the attached exhibit.

All residential lots located on a corner adjacent to a street shall require either decorative metal or board-on-board fencing along the sideyard adjoining the street with masonry columns, placed at 21 feet OC. A detail of the required masonry column is attached. All other fencing on a corner lot (ie. rear and lot-to-lot side) may be board-to-board provided said fencing is not abutting public park or hike/bike trail/public areas which require decorative iron.

In deciding how to “face” the cedar fencing, unless otherwise stipulated by Town of Prosper guidelines or PD 66, the first homebuilder building will set the standard for fence facings (ie. posts in or out.) Adjacent homes will adhere to this standard unless an agreement is reached on double facing any fence section.

ALL WOOD FENCING WILL BE A CONSISTENT COLOR THROUGHOUT STAR TRAIL.

IF THE FENCE PANELS ARE PRE-STAINED, IE. ACE FENCING:

The stain is: Seal Rite- Medium Brown, an oil base, semi-transparent stain that offers a natural look.

IF THE FENCE PANELS ARE NOT STAINED PRIOR TO INSTALLATION:

The stain may be purchased directly from Ace OR be color matched at Sherwin Williams, Home Depot, Lowes while making sure it is oil based. If purchasing the stain, use “Ready Seal, Medium Brown, Color number OS-015B.”

FENCING RETURNS:

All lots requiring board-on-board sideyard fencing will also require a board-on-board return to the house.

All lots requiring standard wood fences with standard wooden sideyard conditions will have standard wooden returns to the house.

All lots requiring wrought iron fencing require a wrought iron return to the house.

Fencing specifications by lot as outlined on the attached color exhibit carry the following specifications:.

The fencing setbacks for the four StarTrail lot classifications are as follows:

*Type C/76’ lot zoning - no fencing shall extend beyond a point fifteen feet (15’) behind the front wall plane of the structure into the front yard.

*Type D/86’ lot zoning - no fencing shall extend beyond a point fifteen feet(15’) behind the front wall plane of the structure into the front yard.

407

AIR CONDITIONERS

No window or wall air conditioning units will be permitted on any building in StarTrail.

Outside condensing units (compressors) which are not located within a privacy fenced area shall be entirely screened by shrubbery, a solid privacy enclosure or through building orientation. Appropriate access and service space will be provided; however, such access shall never be visible from the street(s). This screening requirement shall also apply to pool equipment located outside a privacy fenced area.

408 **FIREPLACES AND CHIMNEYS**

Unless an alternate material is approved by the Town Council of Prosper, the exterior cladding of any chimney must be 100% masonry constructed of either brick, natural stone or stucco. Town of Prosper October, 2015

409 **SWIMMING POOLS, ALL OUTDOOR STRUCTURES**

Any construction that affects the exterior of a Star Trail home including construction of a pool, gazebo, trellis, etc. under the supervision of the homebuilder shall be subject to the review and approval of the NCC. Pool equipment shall be screened by shrubbery if located outside a privacy fenced area.

410 **MAILBOXES**

The Town of Prosper, under direction from the USPS, will require Cluster Mailboxes in Star Trail. An 8-16 box cluster design will be used in StarTrail Phases 8 & 9, to be installed by BSAL. Specific location(s) to be published prior to Substantial Completion.

Villages of Star Trail New Construction Review Application

Once builder has submitted and received comments/approval of a Master Plan submittal(s), with materials and colors to be offered in StarTrail, subsequent submittals for construction will not require a second full set of plans. Builders may subsequently submit one (1) copy of this completed form and one (1) scaled site plan (1"=20') indicating adherence to all setbacks, location of HVAC equipment and fencing material/placement for each new release. Any revisions to an existing approved floorplan and/or elevation per the Master Plan submittal set will require a full set of plans be submitted for review/ approval.

This applicant acknowledges and agrees the New Construction Committee (NCC) and the Villages of StarTrail HomeOwners Association, Inc. (HOA) assume no liability resulting from the approval or disapproval of any plan(s) submitted by the applicant. The NCC and the HOA have no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all local, state or national governmental requirements.

Builder/Applicant: _____ Date: _____

Contact: _____ Telephone: _____

Zoning Classification: ____ Phase: __ Lot/Block: ____ Street Address: _____

Plan Name/Number: _____ Elevation: _____

Total A/C Sq. Footage: _____ 1st Floor A/C: _____ 2nd Floor A/C: _____

Released as (Check one) Model: _____ Spec: _____ Build-to-suit: _____

MATERIAL SCHEDULE AND COLOR SELECTIONS

SIDING:

Wood: ____ Manufacturer & Stain/Paint Color: _____

Cementitious: ____ Manufacturer/Color: _____

All materials and colors must be submitted and approved prior to construction in StarTrail. All minimum masonry requirements must be met per elevation. Cementitious siding may not be included in meeting the required masonry percentage per elevation. In calculating the maximum siding per elevation, all windows surrounded by siding will count the window square footage as siding.

MASONRY:

Stone: _____ Color: _____

Stucco: _____ Color: _____

Brick: _____ Manufacturer/Color: _____

NCC Submittal Application

Page Two

ROOFING:

Composition: _____ Manufacturer/Color: _____

Tile: _____ Manufacturer/Color: _____

GARAGE DOOR PAINT/STAIN: Manufacturer/Color: _____

General Comments: _____

MATERIAL AND COLOR APPROVALS:

SIDING %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

MASONRY %-AGE FRONT: _____ REAR: _____ LEFT ELEVATION: _____ RIGHT ELEVATION: _____

COLORS:

SIDING: WOOD PAINT: _____ WOOD STAIN _____

CEMENTATIOUS: _____

GARAGE DOOR STAIN: _____

MASONRY: STONE: _____ BRICK: _____ STUCCO: _____

ROOFING: _____

COMMENTS: _____

REVIEWED ON: _____ BY: _____